



HDB's Sales Launch – May 2018





## A Distinctive Development

Kim Keat Beacon is located in Toa Payoh, along Kim Keat Avenue. It comprises 3 residential blocks ranging from 25 to 30 storeys. You can choose from 542 units of 3- and 4-room flats.

The development is named Kim Keat Beacon due to its prominent height and location.

Please refer to the site plan to find out more about the facilities in Kim Keat Beacon. Facilities in this project will be opened to the public.

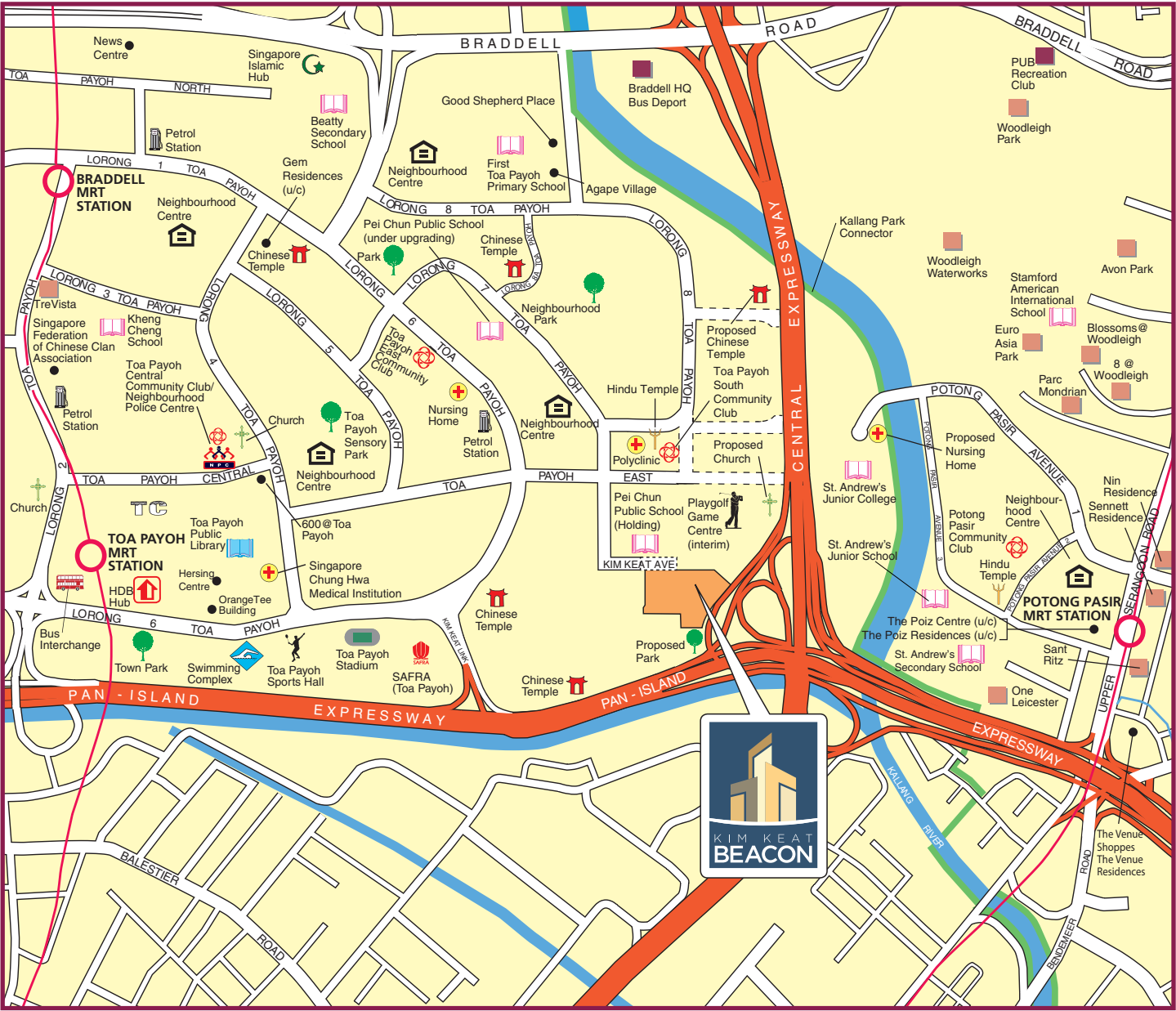


Important Notes

HDB precincts are planned to serve the evolving needs of the community. There are spaces catered for future inclusion of amenities/facilities (such as childcare centres, elderly-related facilities, education centres, residents’ committee centres and day activity centres), commercial facilities (such as shops and eating houses), mechanical and electrical rooms and such other facilities depending on the prevailing needs. These spaces could be in the void decks, common property, car parks or stand-alone community buildings.

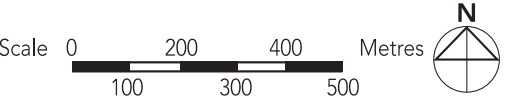
To facilitate your flat selection, we have provided information on the surrounding land use, proposed facilities and their locations in the maps and plans in this brochure. As the information provided is based on the current planning intent of the relevant government agencies, they are indicative only and are subject to review from time to time.

TOA PAYOH



LEGEND:

- MRT Line & Station
- Under Construction / Future Road
- (u/c) Under Construction



Notes:

All proposed developments are subject to change and planning approval.

The proposed facilities and their locations as shown are indicative only. The proposed facilities may include other ancillary uses allowed under URA's prevailing Development Control guidelines. For example, places of worship may also include columbarium as an ancillary use, while community centres may also include childcare centres, and schools may be upgraded or built with higher-rise blocks. The implementation of the facilities is subject to review from time to time by the relevant authorities.

The future land use for holding school sites are subject to review or changes by the relevant authorities.

The information contained herein is subject to change at any time without notice and cannot form part of an offer or contract. While reasonable care has been taken in providing this information, HDB shall not be responsible in any way for any damage or loss suffered by any person whether directly or indirectly as a result of reliance on the said information or as a result of any error or omission therein.

## Eco-Friendly Living

To encourage a 'green' lifestyle, Kim Keat Beacon is designed with several eco-friendly features:

- Separate chutes for recyclable waste
- Motion sensor-controlled energy efficient lighting at staircases to reduce energy consumption
- Regenerative lifts to reduce energy consumption
- Eco-pedestals in bathrooms to encourage water conservation
- Bicycle stands to encourage cycling as an environmentally friendly form of transport
- Parking spaces to facilitate car-sharing schemes
- Use of sustainable and recycled products in the development



Eco-pedestals



Separate chutes for recyclable waste



Bicycle stands

## Modern Homes

Kim Keat Beacon offers 3- and 4-room flats.

These flats will come with:

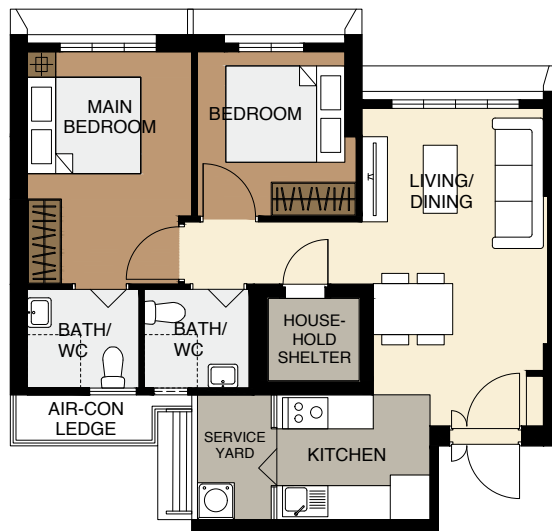
- Floor finishes in the kitchen, household shelter, service yard, and bathrooms
- Wall tiles in the kitchen and bathrooms

All new HDB flats have Universal Design features such as wider internal corridors, and ramps at the main entrance and bathrooms.

## Optional Component Scheme

The Optional Component Scheme (OCS) provides convenience to flat buyers, and is offered on an opt-in basis. Please refer to the attached Optional Component Scheme leaflet for details.

When a flat buyer opts in for the OCS, the cost of the optional components will be added to the flat price.



### LAYOUT IDEAS FOR 3-ROOM

APPROX. FLOOR AREA 68 sqm

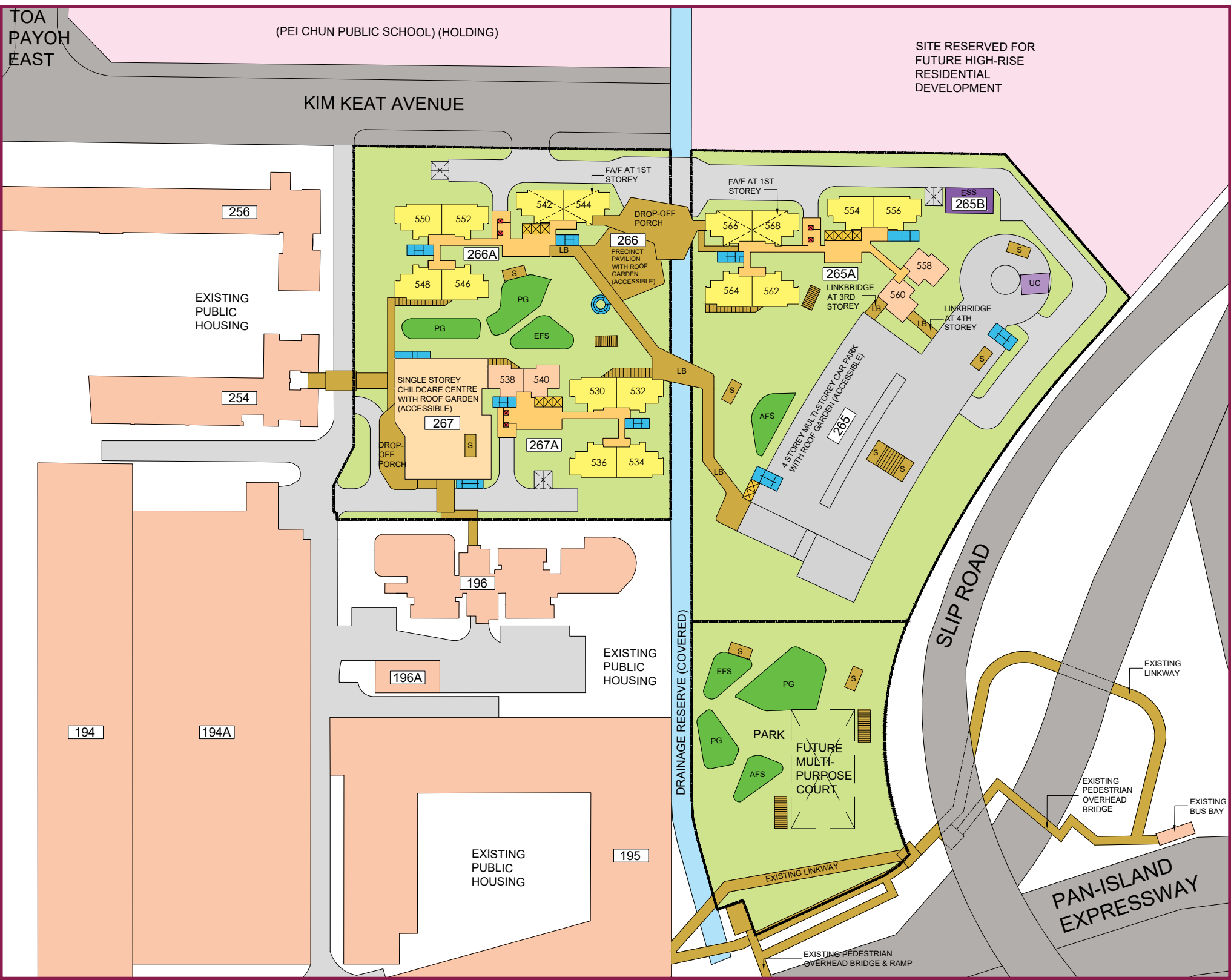
(Inclusive of Internal Floor Area of 65 sqm and Air-con Ledge)



### LAYOUT IDEAS FOR 4-ROOM

APPROX. FLOOR AREA 93 sqm

(Inclusive of Internal Floor Area of 90 sqm and Air-con Ledge)



- Notes:**
1. All proposed developments are subject to change and planning approval.
  2. The proposed facilities and their locations as shown are indicative only. The proposed facilities may include other ancillary uses allowed under URA's prevailing Development Control guidelines. For example, places of worship may also include columbarium as an ancillary use, while community centres may also include childcare centres, and schools may be upgraded or built with higher-rise blocks. The implementation of the facilities is subject to review from time to time by the relevant authorities. The future land use for holding school sites are subject to review or changes by the relevant authorities.
  3. The use of the void deck in any apartment block, common property (such as precinct pavilion), car park or stand-alone community building for future amenities/facilities (such as childcare centres, elderly-related facilities, education centres, residents' committee centres and day activity centres), commercial facilities (such as shops and eating houses), mechanical and electrical rooms and such other facilities is subject to review from time to time.
  4. The residential blocks may be completed ahead of the proposed precinct facilities, so that flat buyers are able to collect the keys to their new homes earlier.
  5. Unless otherwise indicated in the sales brochure, all facilities within the project, including but not limited to roof gardens and sky terraces (if any), will be open to the public.

### LEGEND

3 - Room

4 - Room

Reserved for Development / Existing Development

Surrounding Buildings / Structures

Linkway / Drop-Off Porch / Shelter (S) / Precinct Pavilion (PP) at 1st Storey / Link Bridge (LB) at 2nd Storey

Trellis (T)

Children Playground (PG) / Adult Fitness Station (AFS) / Elderly Fitness Station (EFS)

Electrical Sub-Stations (ESS) at 1st Storey

Future Amenities / Facilities (FA/F) at 1st Storey

Childcare Centre (CCC) at 1st Storey with Roof Garden

Multi-Storey Car Park

Utility Centre (UC) at 1st Storey

Open Space

Staircase

Driveway

Drainage Reserve (Covered)

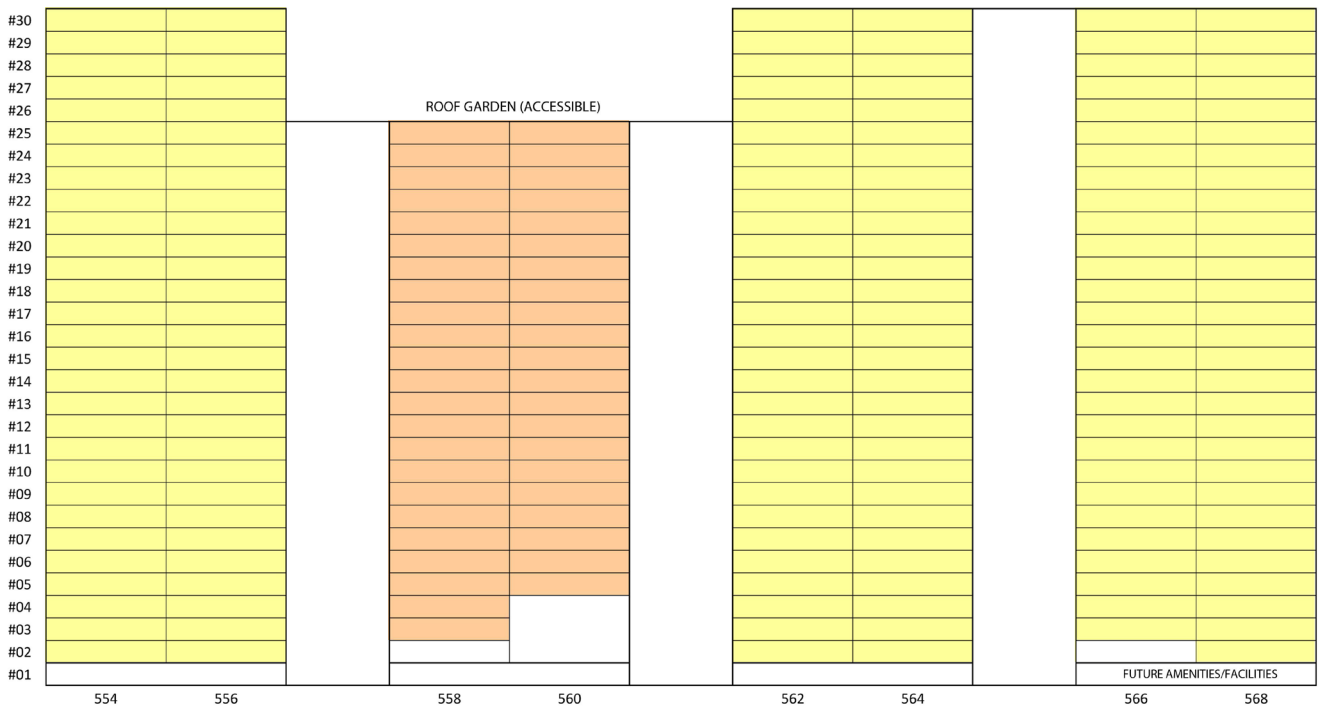
Centralised Refuse Chute / Chute for Recyclable Refuse

Corridor

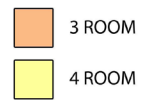
Lift

Service Bay

| Block Number | Number of Storeys | 3 Room | 4 Room | Total | Lift opens at |
|--------------|-------------------|--------|--------|-------|---------------|
| 265 A        | 25/30             | 44     | 173    | 217   | Every Storey  |
| 266 A        | 25/30             | -      | 163    | 163   | Every Storey  |
| 267 A        | 25/30             | 57     | 105    | 162   | Every Storey  |
| Total        |                   | 101    | 441    | 542   |               |



#### BLOCK 265A



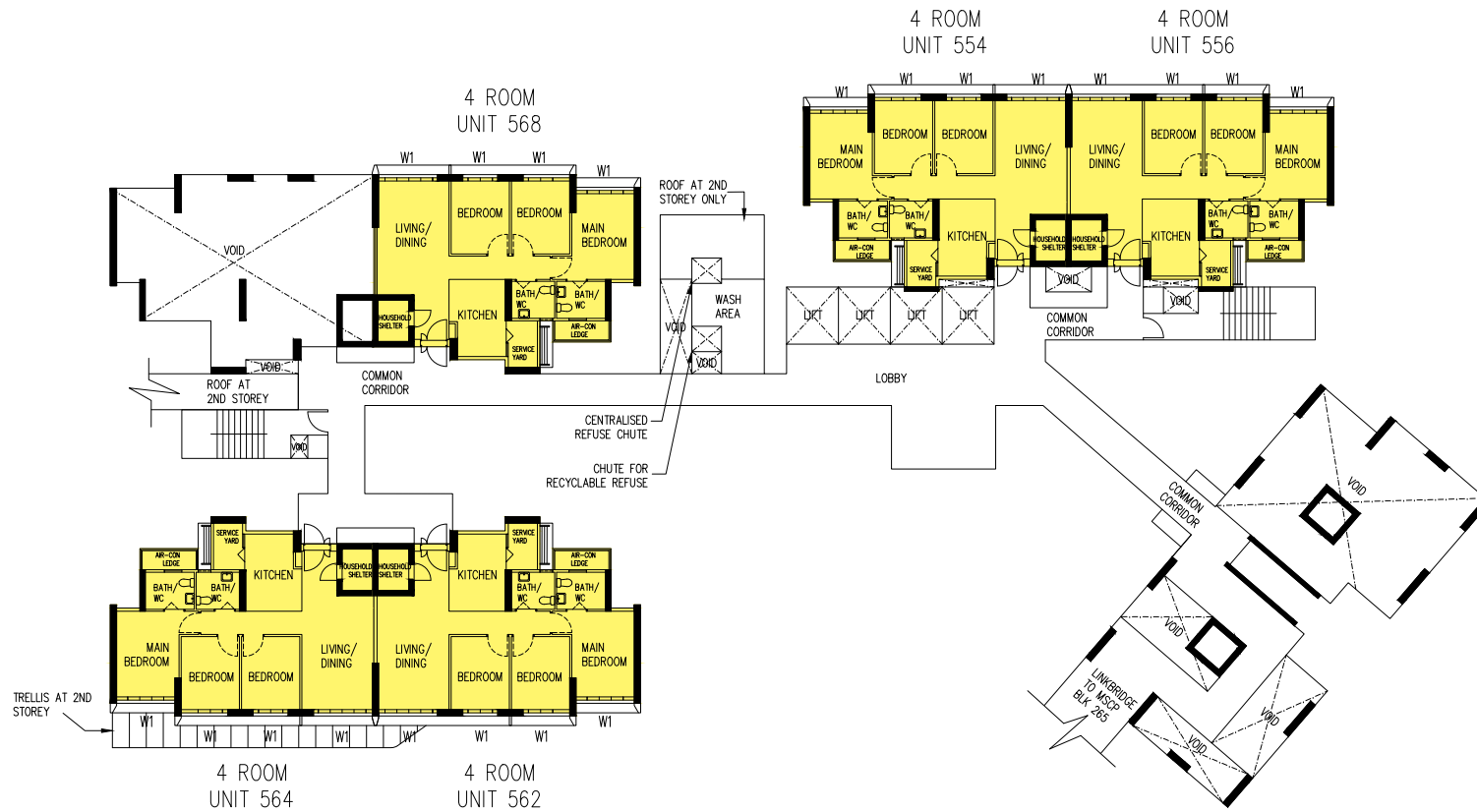
#### BLOCK 266A



|     |     |     |                          |     |     |  |         |
|-----|-----|-----|--------------------------|-----|-----|--|---------|
| #30 |     |     |                          |     |     |  |         |
| #29 |     |     |                          |     |     |  |         |
| #28 |     |     |                          |     |     |  |         |
| #27 |     |     |                          |     |     |  |         |
| #26 |     |     | ROOF GARDEN (ACCESSIBLE) |     |     |  |         |
| #25 |     |     |                          |     |     |  |         |
| #24 |     |     |                          |     |     |  |         |
| #23 |     |     |                          |     |     |  |         |
| #22 |     |     |                          |     |     |  |         |
| #21 |     |     |                          |     |     |  |         |
| #20 |     |     |                          |     |     |  |         |
| #19 |     |     |                          |     |     |  |         |
| #18 |     |     |                          |     |     |  |         |
| #17 |     |     |                          |     |     |  |         |
| #16 |     |     |                          |     |     |  |         |
| #15 |     |     |                          |     |     |  |         |
| #14 |     |     |                          |     |     |  |         |
| #13 |     |     |                          |     |     |  |         |
| #12 |     |     |                          |     |     |  |         |
| #11 |     |     |                          |     |     |  |         |
| #10 |     |     |                          |     |     |  |         |
| #09 |     |     |                          |     |     |  |         |
| #08 |     |     |                          |     |     |  |         |
| #07 |     |     |                          |     |     |  |         |
| #06 |     |     |                          |     |     |  |         |
| #05 |     |     |                          |     |     |  |         |
| #04 |     |     |                          |     |     |  |         |
| #03 |     |     |                          |     |     |  |         |
| #02 |     |     |                          |     |     |  |         |
| #01 |     |     |                          |     |     |  |         |
|     | 530 | 532 |                          | 534 | 536 |  | 538 540 |

**BLOCK 267A**

-  3 ROOM
-  4 ROOM



## BLOCK 265A (2ND STOREY FLOOR PLAN)

UNITS AT AND ABOVE 6TH STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF MSCP BLOCK 265

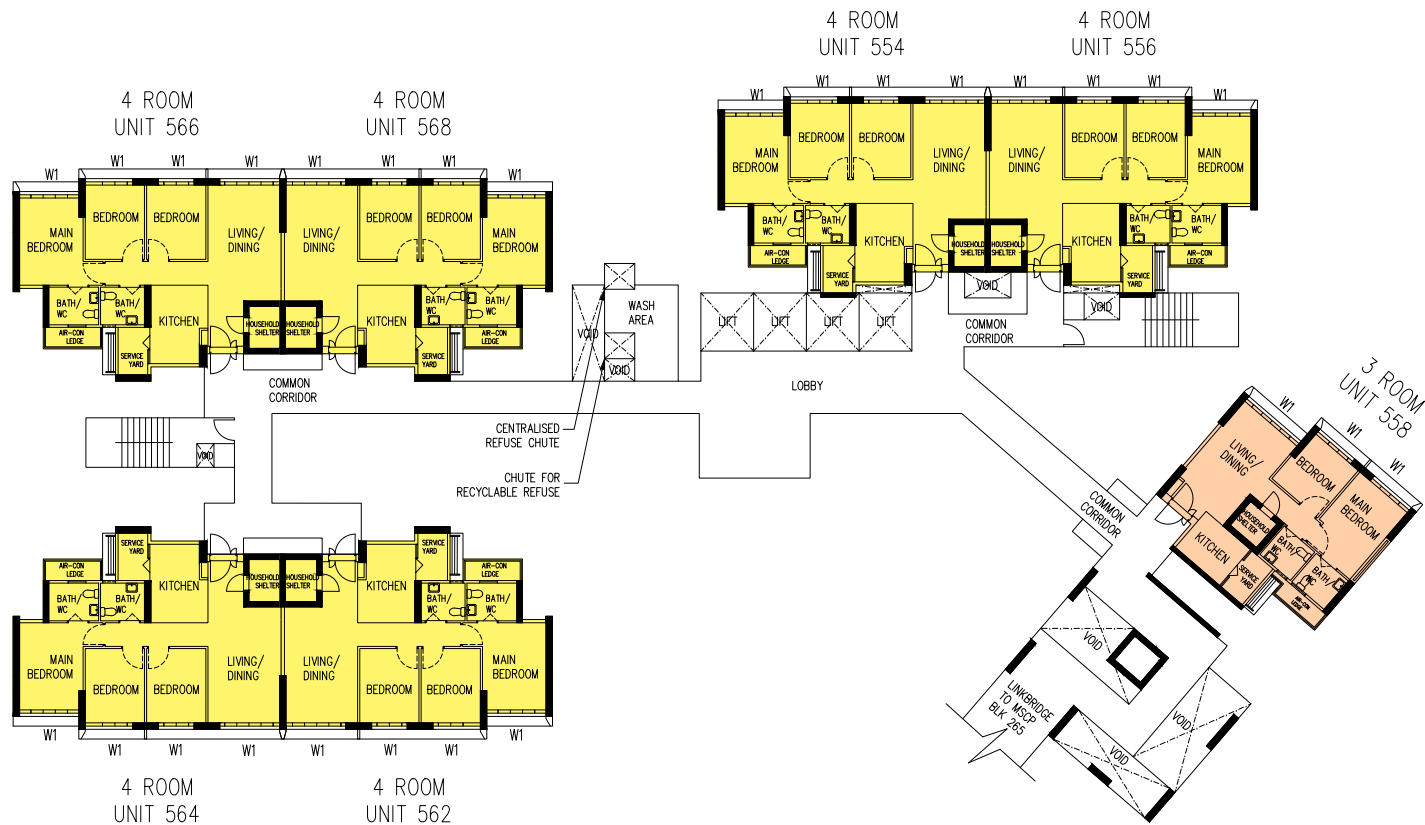
### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METERS

THE COLOURED FLOOR PLAN IS  
NOT INTENDED TO DEMARCATATE  
THE BOUNDARY OF THE FLAT.



## BLOCK 265A (3RD STOREY FLOOR PLAN)

UNITS AT AND ABOVE 6TH STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF MSCP BLOCK 265

### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METERS

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THE BOUNDARY OF THE FLAT.



## BLOCK 265A

### (4TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 6TH STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF MSCP BLOCK 265

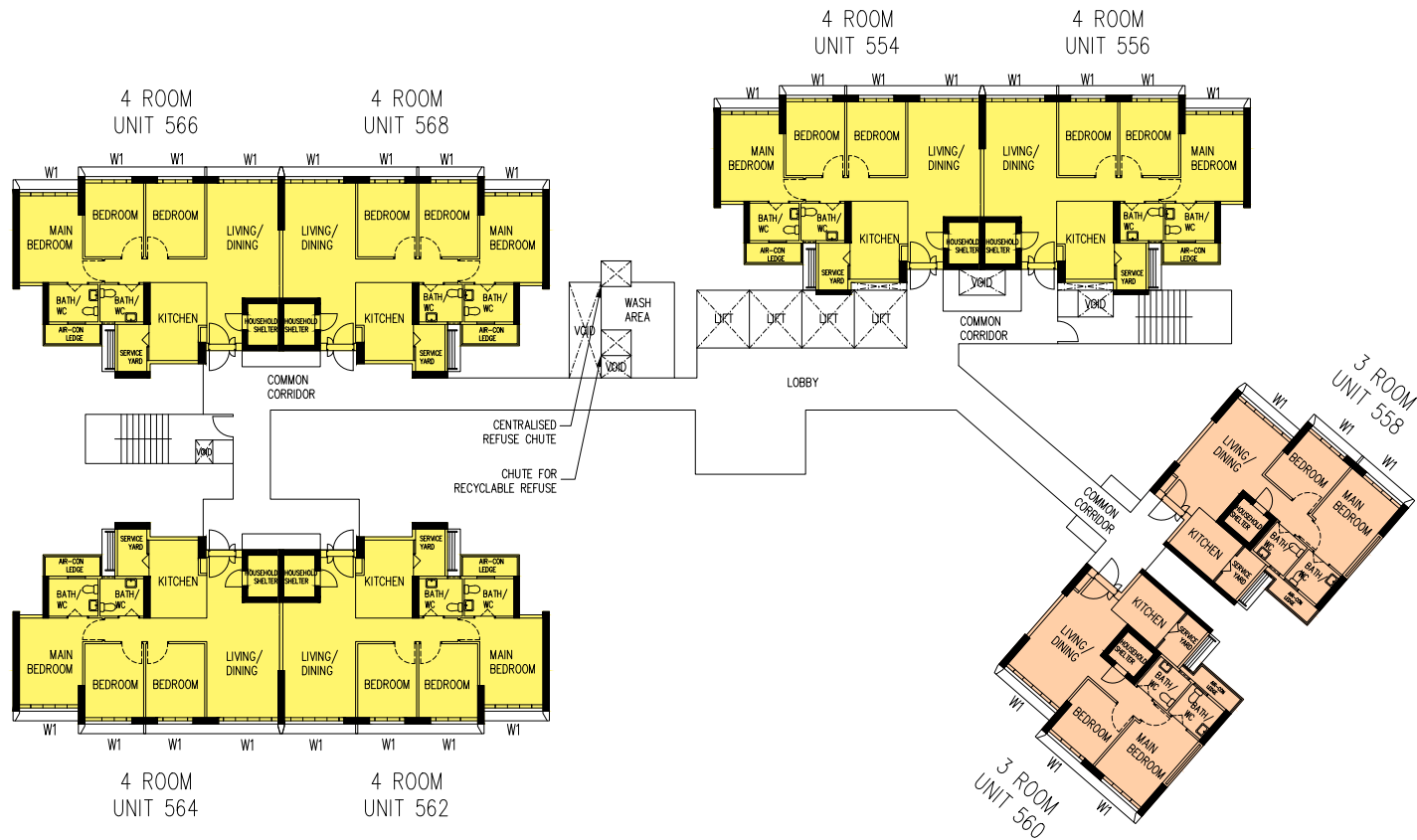
#### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METERS

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THE BOUNDARY OF THE FLAT.



## BLOCK 265A

(5TH, 9TH, 13TH, 17TH, 21ST & 25TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 6TH STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF MSCP BLOCK 265

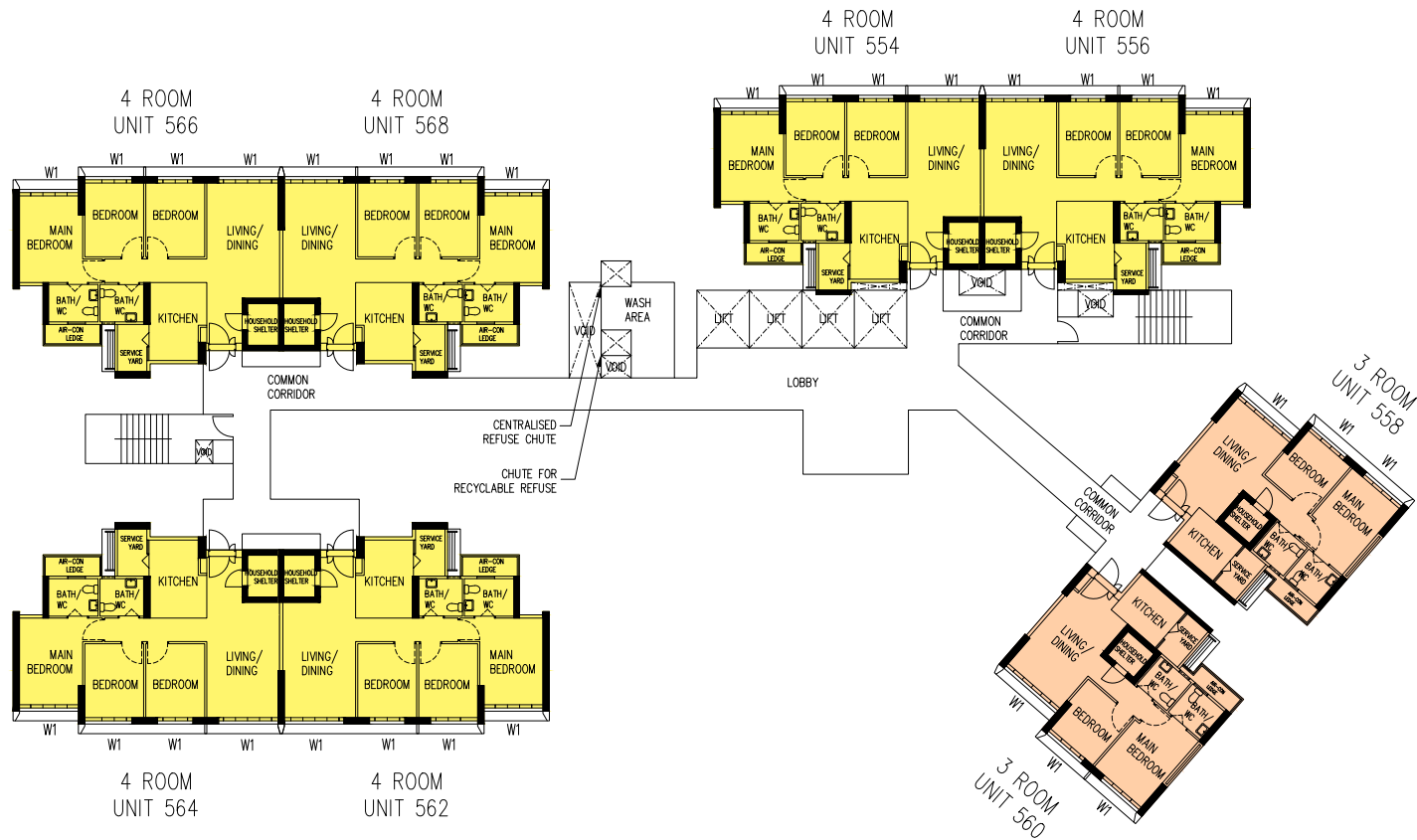
### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
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SCALE 0 2 4 6 8 10 METERS

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THE BOUNDARY OF THE FLAT.



## BLOCK 265A

### (6TH, 10TH, 14TH, 18TH & 22ND STOREY FLOOR PLAN)

UNITS AT AND ABOVE 6TH STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF MSCP BLOCK 265

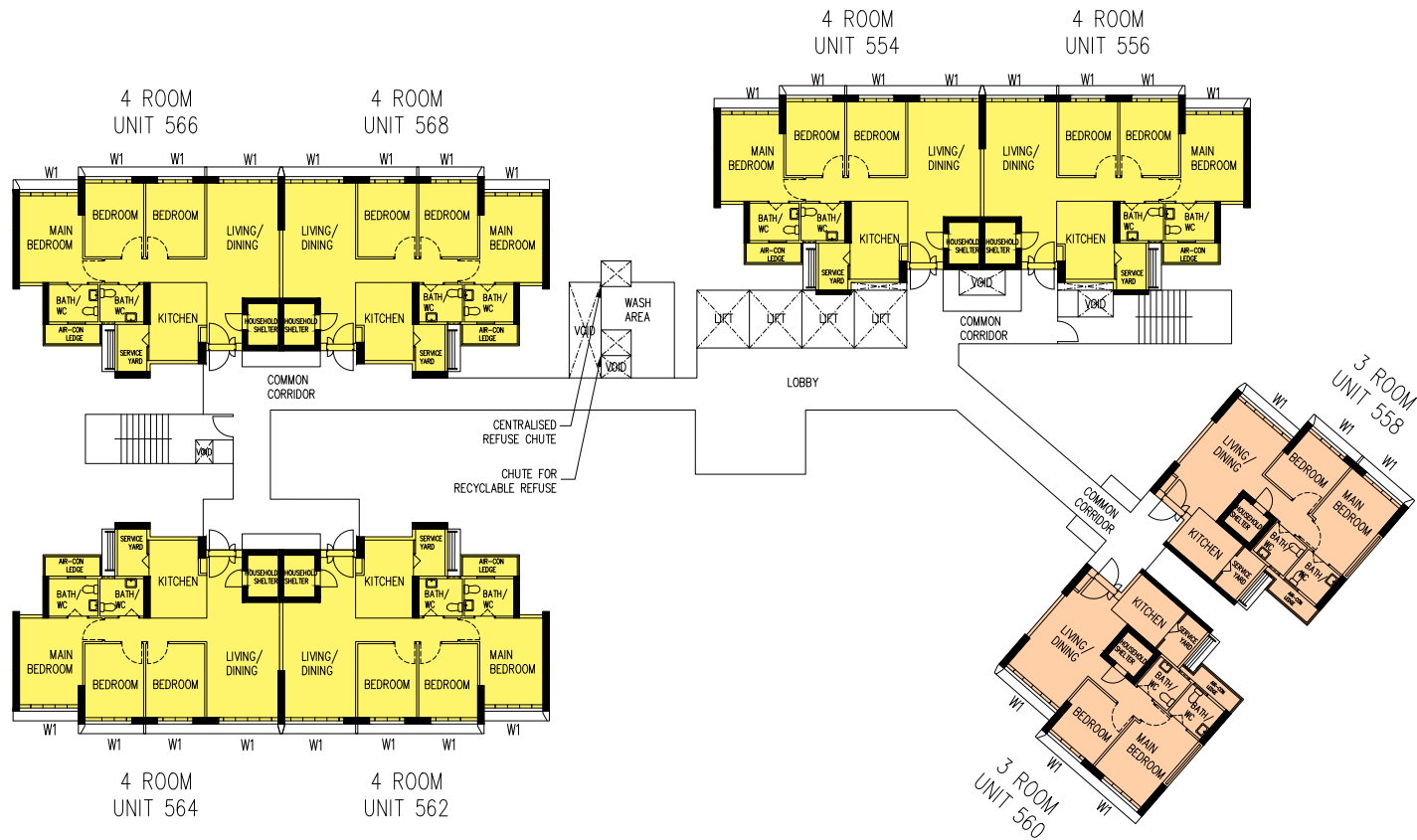
#### WINDOW LEGEND

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SCALE 0 2 4 6 8 10 METERS

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THE BOUNDARY OF THE FLAT.



## BLOCK 265A

### (7TH, 11TH, 15TH, 19TH & 23RD STOREY FLOOR PLAN)

UNITS AT AND ABOVE 6TH STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF MSCP BLOCK 265

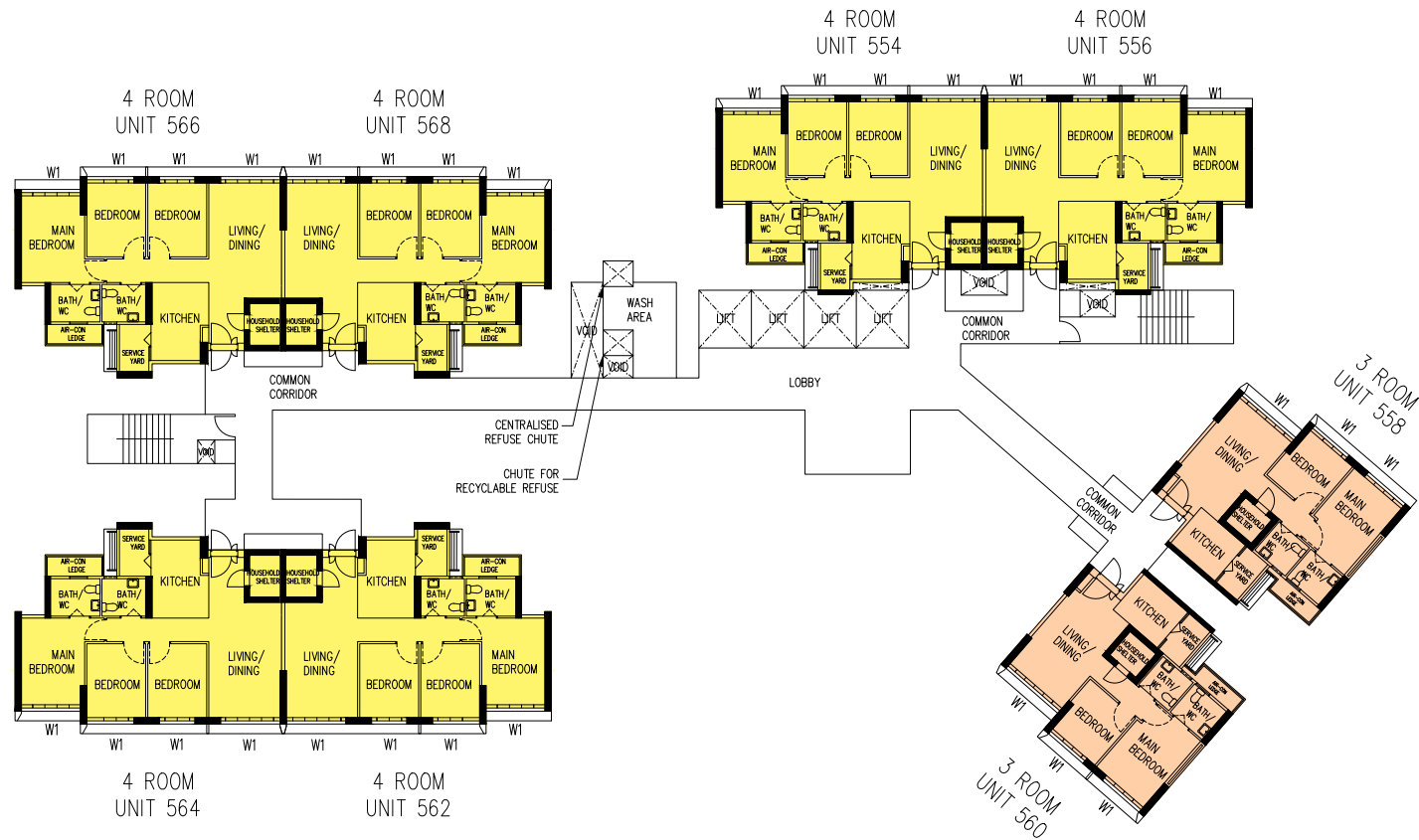
#### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METERS

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THE BOUNDARY OF THE FLAT.



## BLOCK 265A

### (8TH, 12TH, 16TH, 20TH & 24TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 6TH STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF MSCP BLOCK 265

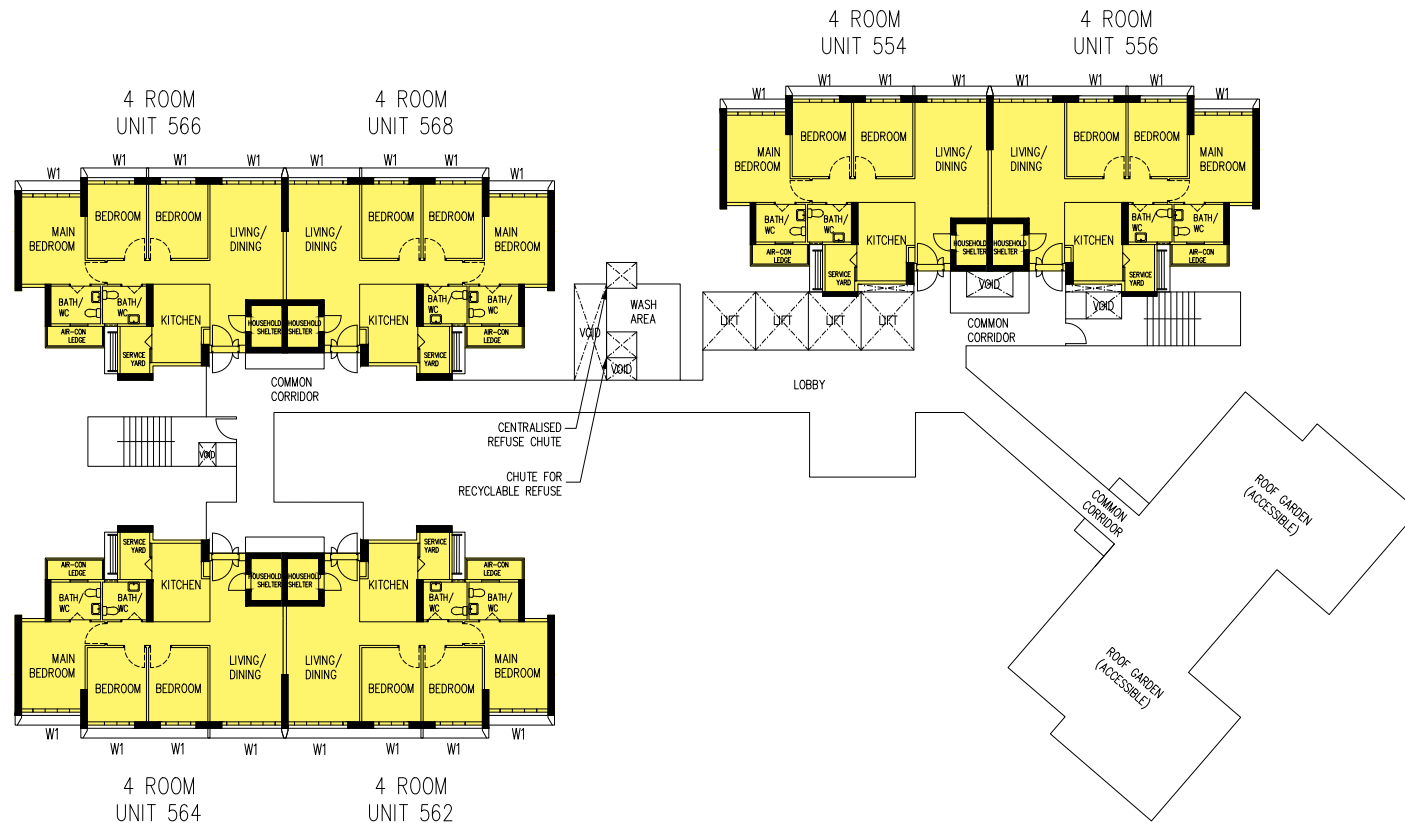
#### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

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SCALE 0 2 4 6 8 10 METERS

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THE BOUNDARY OF THE FLAT.



## BLOCK 265A (26TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 6TH STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF MSCP BLOCK 265

### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METERS

THE COLOURED FLOOR PLAN IS  
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THE BOUNDARY OF THE FLAT.



## BLOCK 265A (27TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 6TH STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF MSCP BLOCK 265

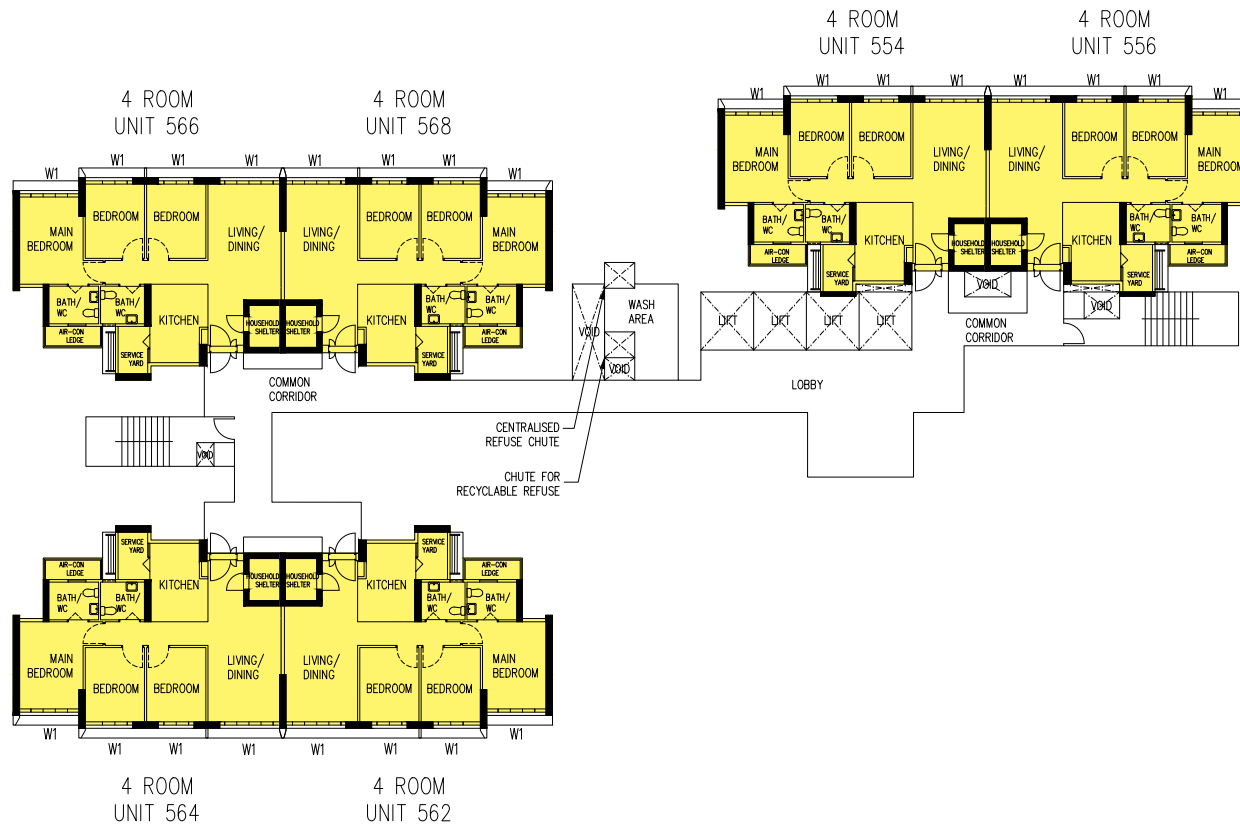
### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METERS

THE COLOURED FLOOR PLAN IS  
NOT INTENDED TO DEMARCATATE  
THE BOUNDARY OF THE FLAT.



## BLOCK 265A (28TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 6TH STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF MSCP BLOCK 265

### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METERS

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THE BOUNDARY OF THE FLAT.



**BLOCK 265A**  
**(29TH STOREY FLOOR PLAN)**

UNITS AT AND ABOVE 6TH STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF MSCP BLOCK 265

**WINDOW LEGEND**

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS



THE COLOURED FLOOR PLAN IS  
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THE BOUNDARY OF THE FLAT.



**BLOCK 265A**  
**(30TH STOREY FLOOR PLAN)**

UNITS AT AND ABOVE 6TH STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF MSCP BLOCK 265

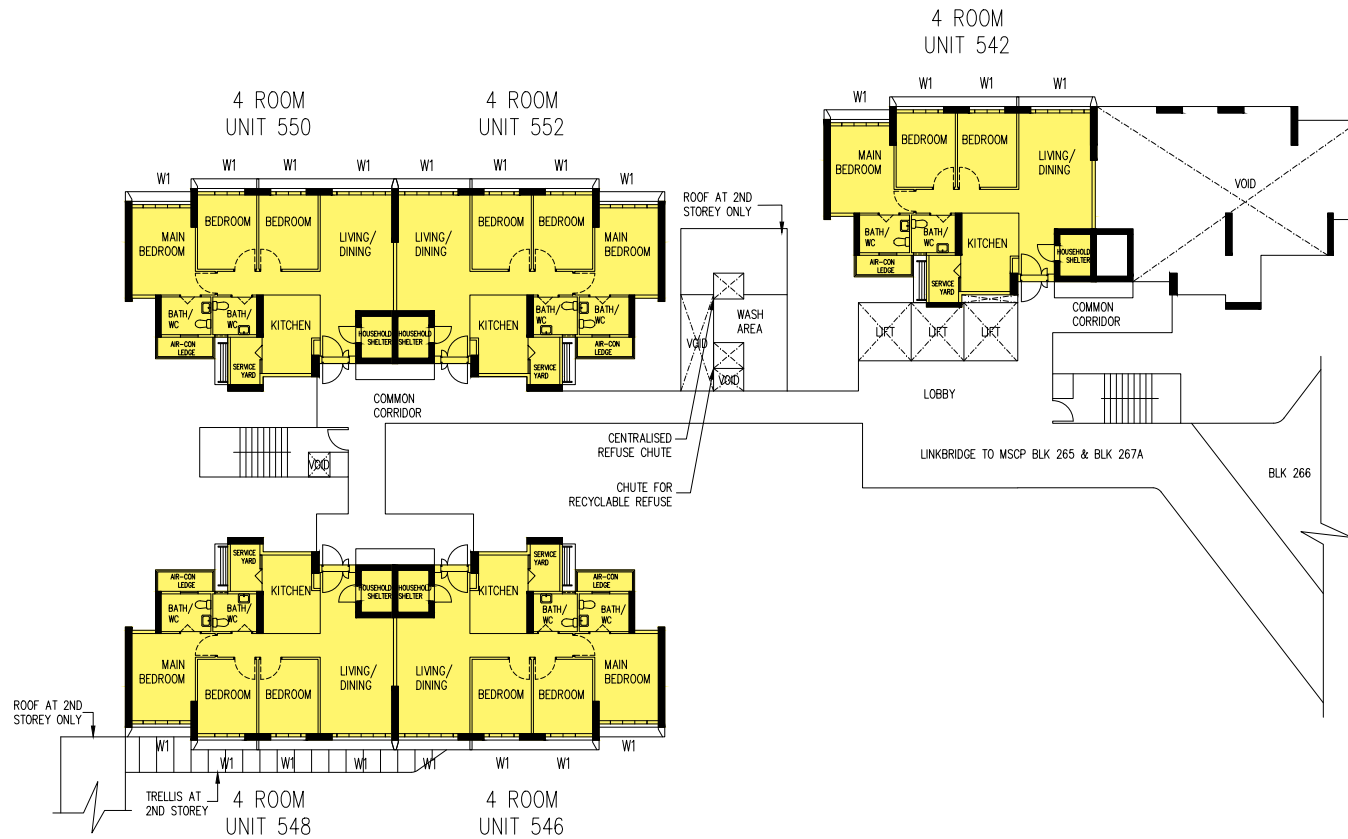
**WINDOW LEGEND**

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
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SCALE 0 2 4 6 8 10 METERS

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THE BOUNDARY OF THE FLAT.



## BLOCK 266A

### (2ND STOREY FLOOR PLAN)

UNITS AT AND ABOVE 3RD STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF BLOCK 267

#### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METERS

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THE BOUNDARY OF THE FLAT.



**BLOCK 266A**  
**(3RD STOREY FLOOR PLAN)**  
UNITS AT AND ABOVE 3RD STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF BLOCK 267

|                                                                    |                                                                            |                                                                      |                                                                                     |
|--------------------------------------------------------------------|----------------------------------------------------------------------------|----------------------------------------------------------------------|-------------------------------------------------------------------------------------|
| <b>WINDOW LEGEND</b>                                               | UNLESS OTHERWISE INDICATED, ALL WINDOWS<br>WILL BE STANDARD HEIGHT WINDOWS | <div data-bbox="1261 1377 1576 1412">SCALE 0 2 4 6 8 10 METERS</div> | THE COLOURED FLOOR PLAN IS<br>NOT INTENDED TO DEMARCAT<br>THE BOUNDARY OF THE FLAT. |
| W1 – THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL) |                                                                            |                                                                      |                                                                                     |



## BLOCK 266A

(4TH, 8TH, 12TH, 16TH, 20TH & 24TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 3RD STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF BLOCK 267

|                                                                                                       |                                                                                    |                                  |                                                                                              |
|-------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------|----------------------------------|----------------------------------------------------------------------------------------------|
| <p><b>WINDOW LEGEND</b></p> <p>W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)</p> | <p>UNLESS OTHERWISE INDICATED, ALL WINDOWS<br/>WILL BE STANDARD HEIGHT WINDOWS</p> | <p>SCALE 0 2 4 6 8 10 METERS</p> | <p>THE COLOURED FLOOR PLAN IS<br/>NOT INTENDED TO DEMARCAT<br/>THE BOUNDARY OF THE FLAT.</p> |
|-------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------|----------------------------------|----------------------------------------------------------------------------------------------|



## BLOCK 266A

(5TH, 9TH, 13TH, 17TH, 21ST & 25TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 3RD STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF BLOCK 267

### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METERS

THE COLOURED FLOOR PLAN IS  
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THE BOUNDARY OF THE FLAT.



**BLOCK 266A**  
**(6TH, 10TH, 14TH, 18TH & 22ND STOREY FLOOR PLAN)**  
UNITS AT AND ABOVE 3RD STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF BLOCK 267

|                                                                    |                                                                            |                                                                                       |                                                                                     |
|--------------------------------------------------------------------|----------------------------------------------------------------------------|---------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|
| <b>WINDOW LEGEND</b>                                               | UNLESS OTHERWISE INDICATED, ALL WINDOWS<br>WILL BE STANDARD HEIGHT WINDOWS |  | THE COLOURED FLOOR PLAN IS<br>NOT INTENDED TO DEMARCAT<br>THE BOUNDARY OF THE FLAT. |
| W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL) |                                                                            |                                                                                       |                                                                                     |



## BLOCK 266A

### (7TH, 11TH, 15TH, 19TH & 23RD STOREY FLOOR PLAN)

UNITS AT AND ABOVE 3RD STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF BLOCK 267

#### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

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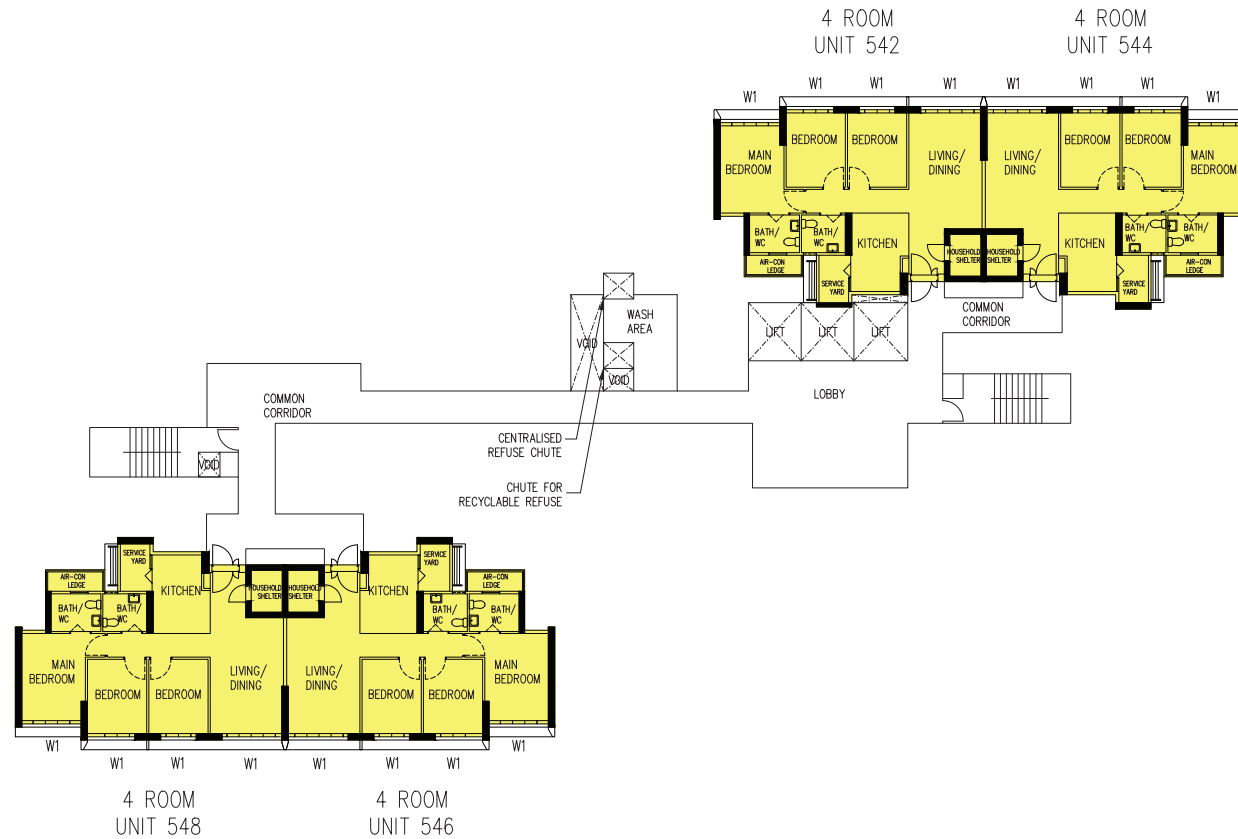
**BLOCK 266A**  
**(26TH STOREY FLOOR PLAN)**  
UNITS AT AND ABOVE 3RD STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF BLOCK 267

|                                                                    |                                                                            |                                                                      |                                                                                     |
|--------------------------------------------------------------------|----------------------------------------------------------------------------|----------------------------------------------------------------------|-------------------------------------------------------------------------------------|
| <b>WINDOW LEGEND</b>                                               | UNLESS OTHERWISE INDICATED, ALL WINDOWS<br>WILL BE STANDARD HEIGHT WINDOWS | <div data-bbox="1261 1377 1576 1410">SCALE 0 2 4 6 8 10 METERS</div> | THE COLOURED FLOOR PLAN IS<br>NOT INTENDED TO DEMARCAT<br>THE BOUNDARY OF THE FLAT. |
| W1 – THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL) |                                                                            |                                                                      |                                                                                     |



**BLOCK 266A**  
**(27TH STOREY FLOOR PLAN)**  
UNITS AT AND ABOVE 3RD STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF BLOCK 267

|                                                                    |                                                                            |                                                                                       |                                                                                     |
|--------------------------------------------------------------------|----------------------------------------------------------------------------|---------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|
| <b>WINDOW LEGEND</b>                                               | UNLESS OTHERWISE INDICATED, ALL WINDOWS<br>WILL BE STANDARD HEIGHT WINDOWS |  | THE COLOURED FLOOR PLAN IS<br>NOT INTENDED TO DEMARCAT<br>THE BOUNDARY OF THE FLAT. |
| W1 – THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL) |                                                                            |                                                                                       |                                                                                     |



## BLOCK 266A (28TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 3RD STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF BLOCK 267

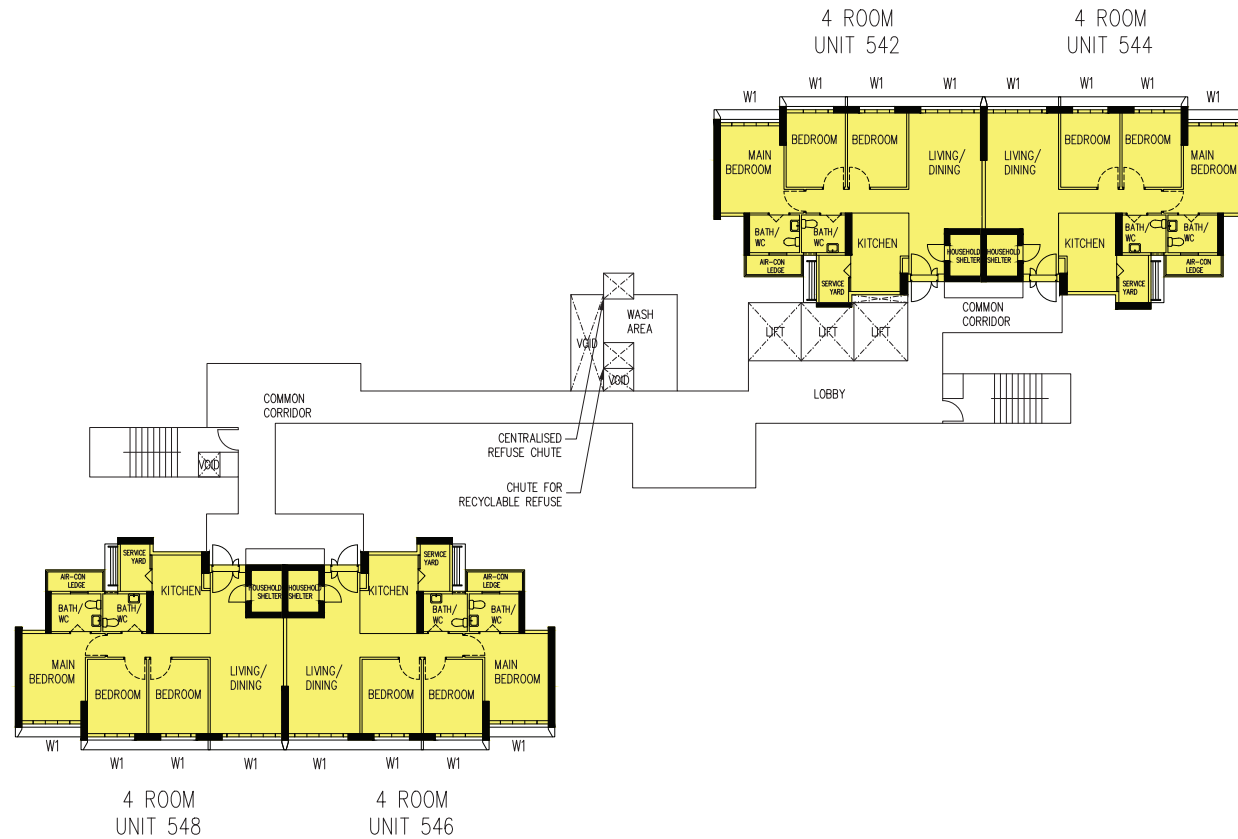
### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

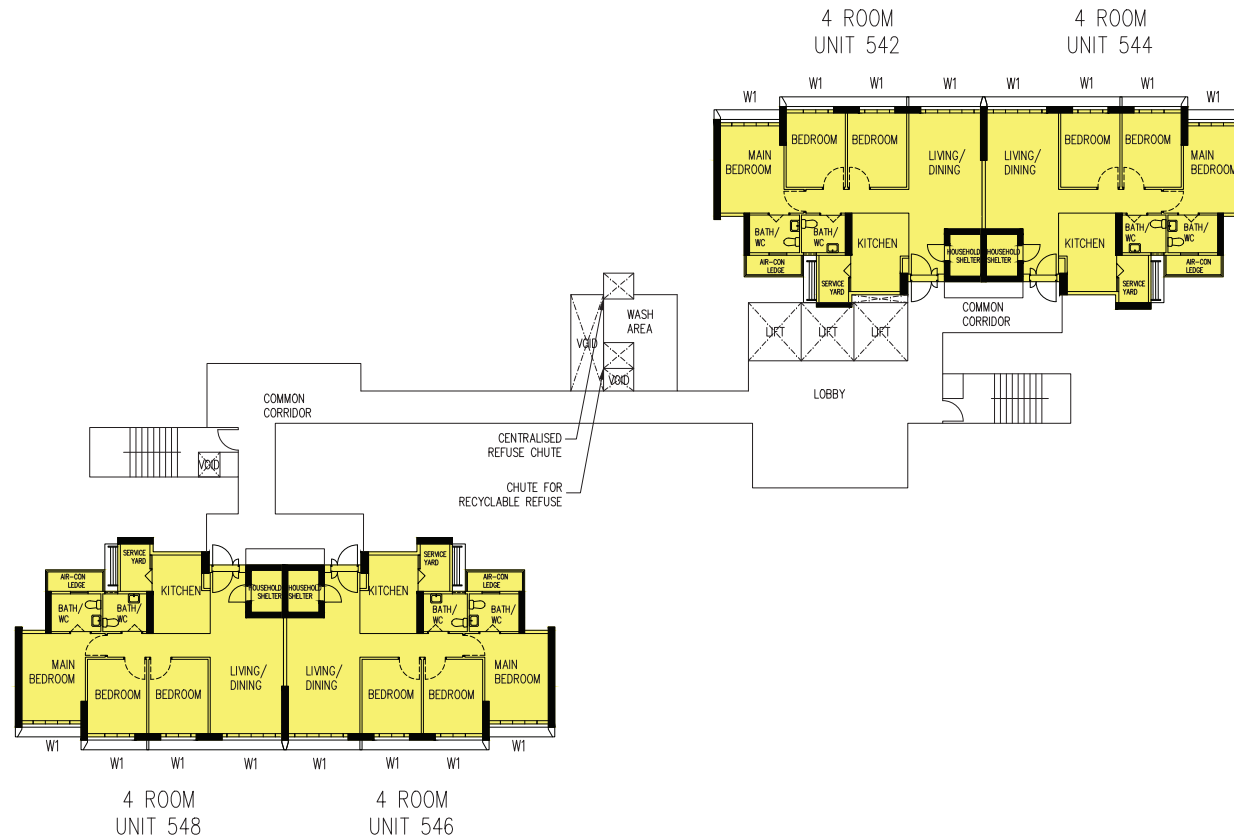
SCALE 0 2 4 6 8 10 METERS

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THE BOUNDARY OF THE FLAT.



**BLOCK 266A**  
**(29TH STOREY FLOOR PLAN)**  
 UNITS AT AND ABOVE 3RD STOREY ARE HIGHER THAN  
 THE MAIN ROOF GARDEN LEVEL OF BLOCK 267

|                                                                    |                                                                            |                           |                                                                                     |
|--------------------------------------------------------------------|----------------------------------------------------------------------------|---------------------------|-------------------------------------------------------------------------------------|
| <b>WINDOW LEGEND</b>                                               | UNLESS OTHERWISE INDICATED, ALL WINDOWS<br>WILL BE STANDARD HEIGHT WINDOWS | SCALE 0 2 4 6 8 10 METERS | THE COLOURED FLOOR PLAN IS<br>NOT INTENDED TO DEMARCAT<br>THE BOUNDARY OF THE FLAT. |
| W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL) |                                                                            |                           |                                                                                     |



## BLOCK 266A (30TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 3RD STOREY ARE HIGHER THAN  
THE MAIN ROOF GARDEN LEVEL OF BLOCK 267

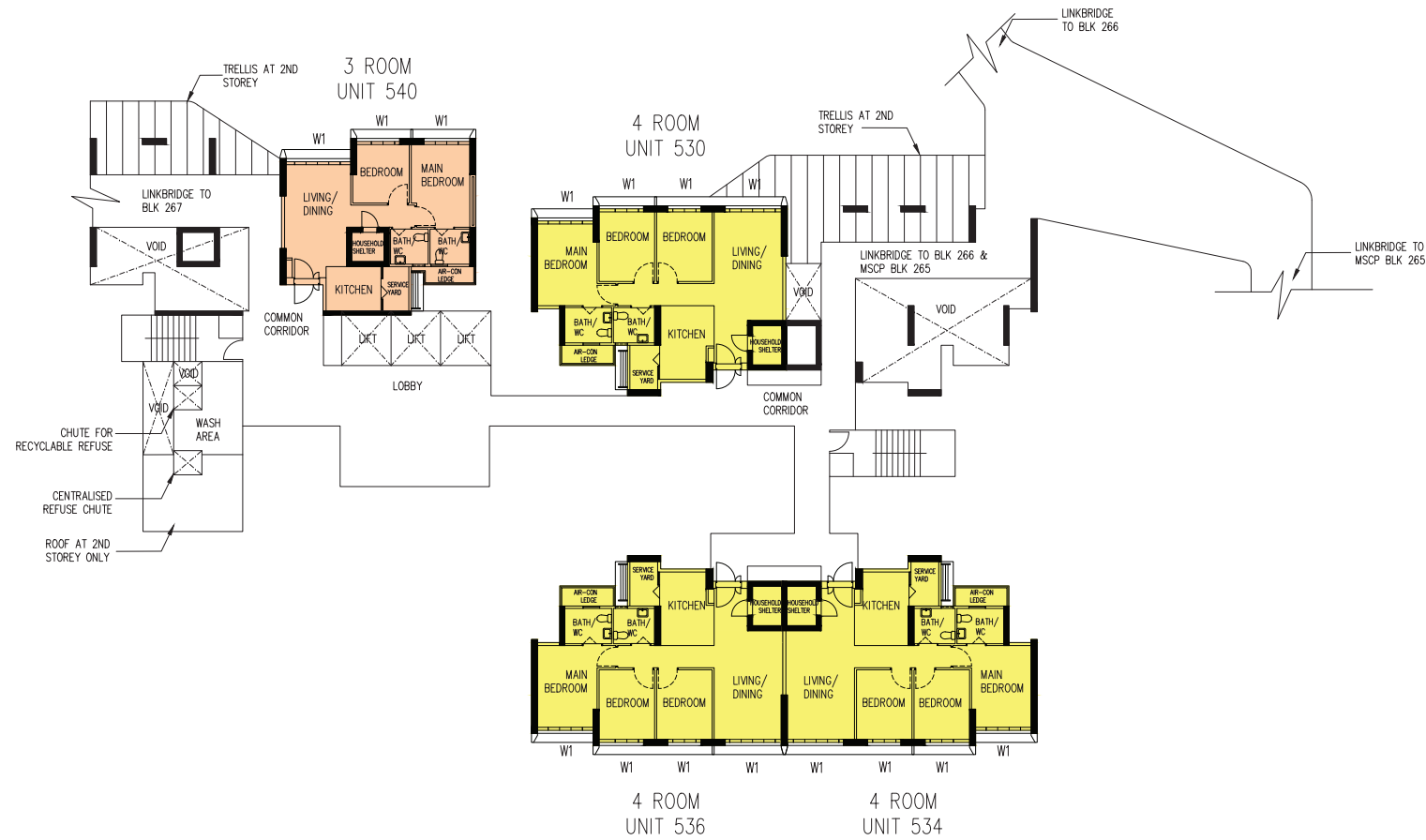
### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METERS

THE COLOURED FLOOR PLAN IS  
NOT INTENDED TO DEMARCAT  
THE BOUNDARY OF THE FLAT.



BLOCK 267A  
(2ND STOREY FLOOR PLAN)

WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METERS

THE COLOURED FLOOR PLAN IS  
NOT INTENDED TO DEMARCAT  
THE BOUNDARY OF THE FLAT.



## BLOCK 267A (3RD STOREY FLOOR PLAN)

### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METERS

THE COLOURED FLOOR PLAN IS  
NOT INTENDED TO DEMARCAT  
THE BOUNDARY OF THE FLAT.



BLOCK 267A  
(4TH, 8TH, 12TH, 16TH, 20TH & 24TH STOREY FLOOR PLAN)

|                                                                    |                                                                         |  |  |
|--------------------------------------------------------------------|-------------------------------------------------------------------------|--|--|
| <b>WINDOW LEGEND</b>                                               | UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS |  |  |
| W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL) |                                                                         |  |  |



THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCAT THE BOUNDARY OF THE FLAT.



**BLOCK 267A**  
**(5TH, 9TH, 13TH, 17TH, 21ST & 25TH STOREY FLOOR PLAN)**

|                                                                                            |                                                                         |                           |                                                                               |
|--------------------------------------------------------------------------------------------|-------------------------------------------------------------------------|---------------------------|-------------------------------------------------------------------------------|
| <b>WINDOW LEGEND</b><br>W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL) | UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS | SCALE 0 2 4 6 8 10 METERS | THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCAT THE BOUNDARY OF THE FLAT. |
|--------------------------------------------------------------------------------------------|-------------------------------------------------------------------------|---------------------------|-------------------------------------------------------------------------------|



## BLOCK 267A (6TH, 10TH, 14TH, 18TH & 22ND STOREY FLOOR PLAN)

### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

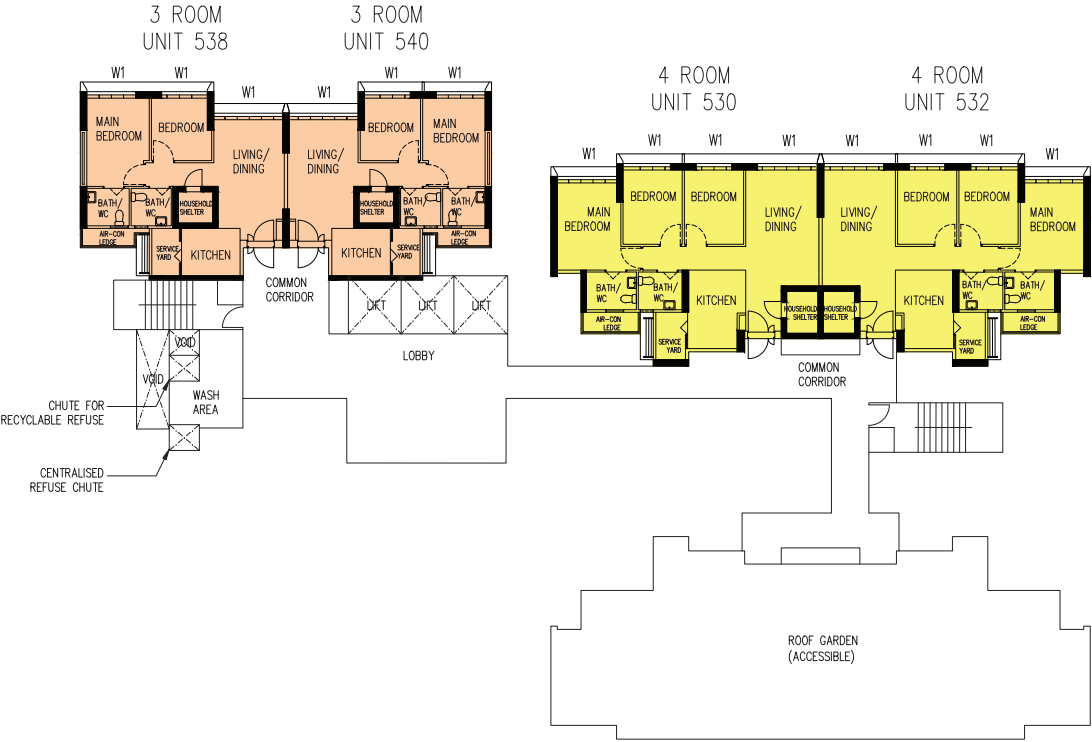
SCALE 0 2 4 6 8 10 METERS

THE COLOURED FLOOR PLAN IS  
NOT INTENDED TO DEMARCAT  
THE BOUNDARY OF THE FLAT.



## BLOCK 267A (7TH, 11TH, 15TH, 19TH & 23RD STOREY FLOOR PLAN)

|                                                                    |                                                                         |                           |                                                                               |
|--------------------------------------------------------------------|-------------------------------------------------------------------------|---------------------------|-------------------------------------------------------------------------------|
| <b>WINDOW LEGEND</b>                                               | UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS | SCALE 0 2 4 6 8 10 METERS | THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCAT THE BOUNDARY OF THE FLAT. |
| W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL) |                                                                         |                           |                                                                               |

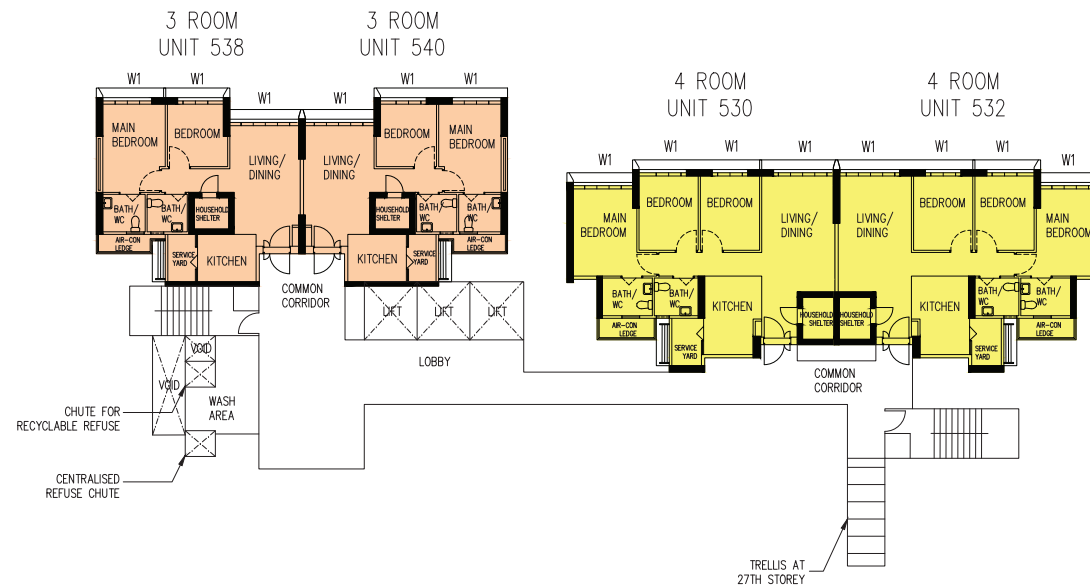


BLOCK 267A  
(26TH STOREY FLOOR PLAN)

|                                                                    |                                                                            |  |  |
|--------------------------------------------------------------------|----------------------------------------------------------------------------|--|--|
| <b>WINDOW LEGEND</b>                                               | UNLESS OTHERWISE INDICATED, ALL WINDOWS<br>WILL BE STANDARD HEIGHT WINDOWS |  |  |
| W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL) |                                                                            |  |  |



THE COLOURED FLOOR PLAN IS  
NOT INTENDED TO DEMARCAT  
THE BOUNDARY OF THE FLAT.



## BLOCK 267A (27TH STOREY FLOOR PLAN)

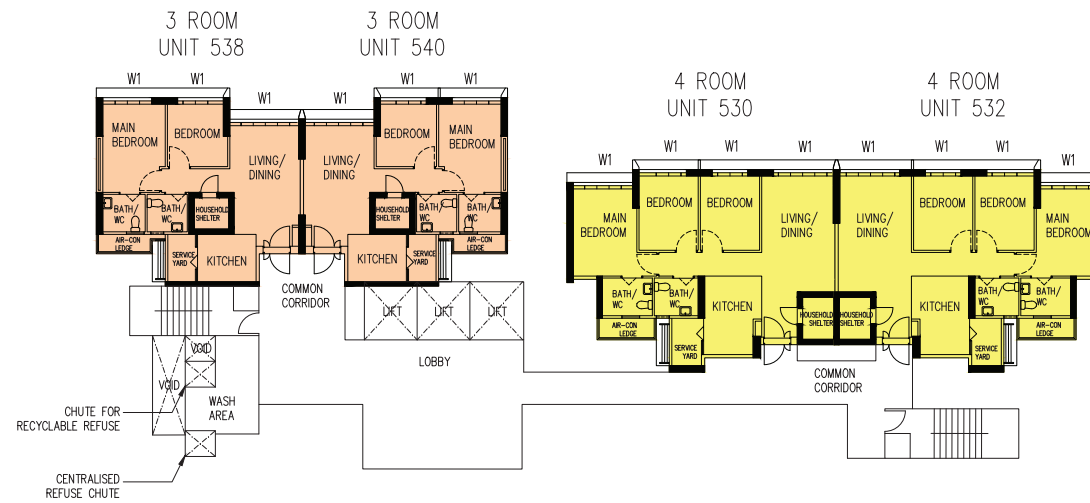
### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METERS

THE COLOURED FLOOR PLAN IS  
NOT INTENDED TO DEMARCAT  
THE BOUNDARY OF THE FLAT.



## BLOCK 267A (28TH STOREY FLOOR PLAN)

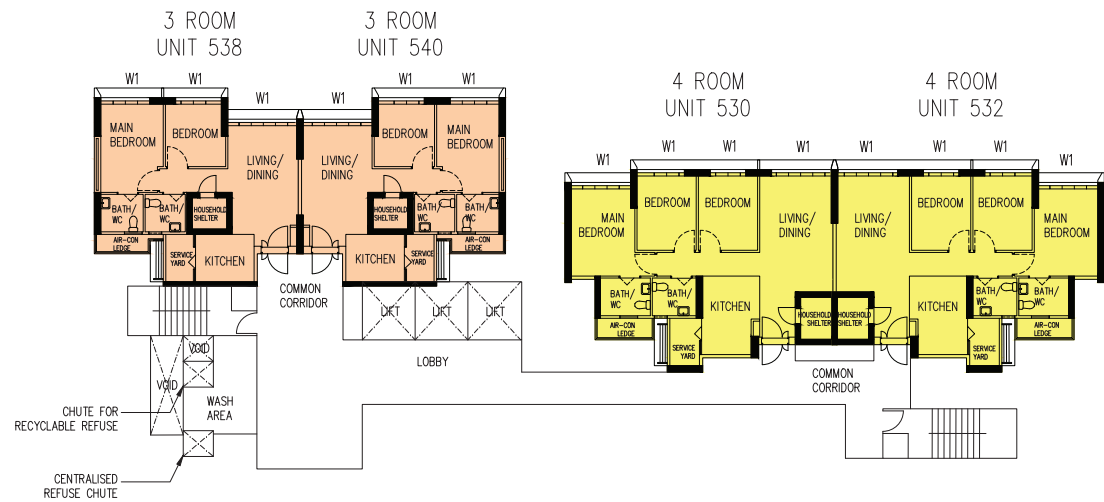
### WINDOW LEGEND

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS  
WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METERS

THE COLOURED FLOOR PLAN IS  
NOT INTENDED TO DEMARCAT  
THE BOUNDARY OF THE FLAT.

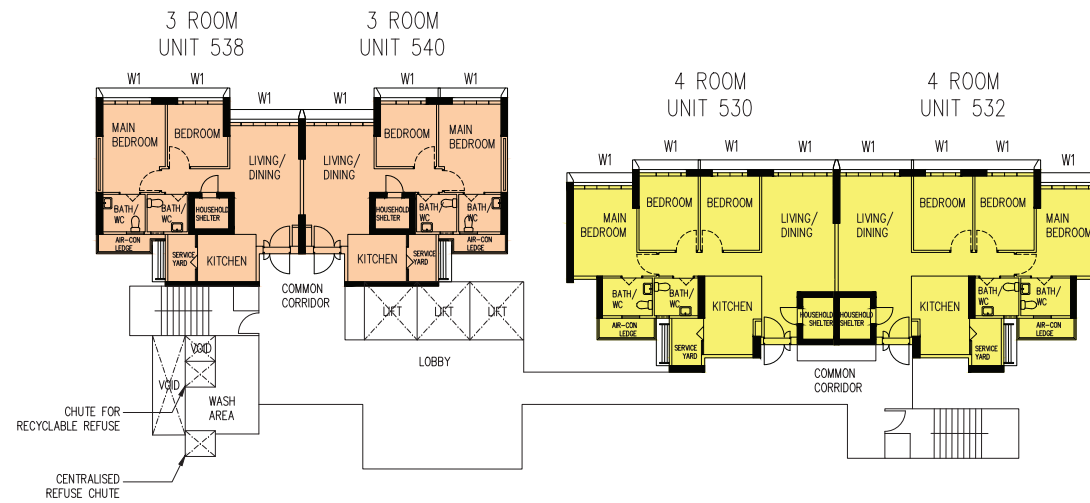


BLOCK 267A  
(29TH STOREY FLOOR PLAN)

|                                                                    |                                                                         |  |  |
|--------------------------------------------------------------------|-------------------------------------------------------------------------|--|--|
| <b>WINDOW LEGEND</b>                                               | UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS |  |  |
| W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL) |                                                                         |  |  |



THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCAT THE BOUNDARY OF THE FLAT.



## BLOCK 267A (30TH STOREY FLOOR PLAN)

|                                                                    |                                                                            |                                  |                                                                                     |
|--------------------------------------------------------------------|----------------------------------------------------------------------------|----------------------------------|-------------------------------------------------------------------------------------|
| <b>WINDOW LEGEND</b>                                               | UNLESS OTHERWISE INDICATED, ALL WINDOWS<br>WILL BE STANDARD HEIGHT WINDOWS | <p>SCALE 0 2 4 6 8 10 METERS</p> | THE COLOURED FLOOR PLAN IS<br>NOT INTENDED TO DEMARCAT<br>THE BOUNDARY OF THE FLAT. |
| W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 550mm HIGH PARAPET WALL) |                                                                            |                                  |                                                                                     |

## General Specifications For Kim Keat Beacon

For 3-Room & 4-Room

### Foundation

Piled foundations.

### Structure

Reinforced concrete structural framework with reinforced concrete slabs.

### Roof

Reinforced concrete roof slab with precast concrete secondary roofing.

### Walls

All external and internal walls are constructed with reinforced concrete/ solid blocks/ bricks with cement plastering/ precast panels/ precast lightweight concrete partitions/ drywall partition system.

### Windows

Aluminium framed windows with tinted glass.

### Doors

|                   |                                          |
|-------------------|------------------------------------------|
| Entrance          | : decorative timber door and metal gate  |
| Bedroom           | : laminated UPVC door (optional)         |
| Bathroom/ WC      | : laminated UPVC folding door (optional) |
| Household Shelter | : metal door                             |
| Service Yard      | : aluminium framed door with glass       |

### Finishes

|                             |                                                                    |
|-----------------------------|--------------------------------------------------------------------|
| Ceilings                    | : skim coated or plastered and painted                             |
| Kitchen/ Bathroom/ WC Walls | : ceramic tiles                                                    |
| Other Walls                 | : skim coated or plastered and painted                             |
| Living/ Dining Floor        | : polished porcelain tiles with laminated UPVC skirting (optional) |
| Bedroom Floor               | : vinyl strip flooring with laminated UPVC skirting (optional)     |
| Kitchen Floor               | : glazed porcelain tiles                                           |
| Bathroom/ WC Floor          | : ceramic tiles                                                    |
| Service Yard Floor          | : glazed porcelain tiles with tile skirting                        |
| Household Shelter Floor     | : glazed porcelain tiles                                           |

### Fittings

Quality Locksets  
Water Closet Suite  
Clothes Drying Rack  
Wash basin with tap mixer, bath/ shower mixer with shower set (optional)

### Services

Gas services and concealed water supply pipes  
Exposed sanitary stacks (which can be located at Service Yard and/ or Air-con ledge)  
Concealed electrical wiring to lighting and power points (including water heater and air-conditioning points)  
Television points  
Data points

### Important Notes

- 1) The Household Shelter is designed for use as civil defence shelter. The walls, ceiling, floor and door of the Household Shelter shall not be hacked, drilled, altered or removed.
- 2) Air-con panel in the main bedroom will not be provided.
- 3) Laminated UPVC door frame shall be provided to all Bedroom and Bathroom/ WC door openings.
- 4) Any unused or unoccupied open spaces in front of or nearby/ adjacent to the flat units are not available for purchase and the HDB will not entertain any request from the flat owners to purchase and/ or enclose the unused or unoccupied open spaces.
- 5) The details of services in a flat, e.g. gas pipes, water pipes, sanitary stacks, electrical wiring, television points, data points, etc. are not indicated on the plans.

You are advised to visit HDB's website at [www.hdb.gov.sg](http://www.hdb.gov.sg) for information on renovation rules.

# Disclaimer

- 1) HDB owns the copyright in all information, maps, and plans of this brochure.
- 2) The content provided in this brochure is not intended to form part of any offer or contract for the sale of flats. They are provided for your general information only, and are not statements or representations of fact.
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- 4) The information on this project, including but not limited to the dimensions, areas, plans, colour schemes, descriptions, and specifications, are subject to change or review without notice at our sole discretion or if required by the relevant authorities.
- 5) We may at any time, without any notice and at our sole discretion, change any aspect of this project, including but not limited to the omission, amalgamation, increase, or reduction of amenities and facilities, colour schemes, design features, and specifications.
- 6) We will not entertain any request for alteration of the layout or specifications of a flat to suit individual needs.
- 7) While reasonable care has been taken in providing the information in this brochure, we do not warrant its accuracy. We shall not be responsible in any way for any damage or loss suffered by any person whether directly or indirectly as a result of reliance on the said information or as a result of any error or omission therein.
- 8) The floor areas shown are scaled strata areas and subject to final survey.
- 9) The surrounding land use, proposed facilities and their locations as shown in the maps and plans are indicative only and subject to change. They may include ancillary uses allowed under the Urban Redevelopment Authority's prevailing Development Control guidelines.
- 10) We reserve the right to use or allow the use of
  - the void deck in any Apartment block,
  - Car park;
  - Common property (such as precinct pavilion); or
  - Standalone community building,for:
  - Future amenities/ facilities (such as child care centres, elderly-related facilities, education centres, residents' committee centres, and day activity centres);
  - Commercial facilities (such as shops and eating houses);
  - Mechanical and electrical rooms; and
  - Such other facilities as we deem fit.
- 11) This brochure does not and is not intended to provide full and complete information of the guidelines or requirements of the relevant authorities. You are advised to approach the relevant authorities directly for full information and details of these guidelines and requirements.



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# OPTIONAL COMPONENT SCHEME (3-, 4-, 5-ROOM AND 3GEN FLATS)

The Optional Component Scheme (OCS) provides convenience for flat buyers, and is offered on an opt-in basis. Choose the OCS items you want before your flat selection appointment. The cost of the OCS items will be added to the selling price of the selected flat.

The 3-, 4-, 5-room and 3Gen flats come with:

- floor finishes in the kitchen, household shelter, service yard and bathrooms
- wall tiles in the kitchen and bathrooms
- water closet suite in each bathroom

## YOU CAN CHOOSE TO HAVE THE FOLLOWING ITEMS INSTALLED IN YOUR SELECTED FLAT:

- Floor finishes for living/ dining room and bedrooms
- Internal doors + sanitary fittings
  - wash basin with tap mixer
  - shower set with bath/ shower mixer



Wash basin with tap mixer in attached bathroom



Wash basin with tap mixer



Handheld shower set with bath/ shower mixer

*Disclaimer: All displays and images shown here are strictly for reference only and are subject to change without notice. The displays and images shown here are conceptual and indicative only and the colour schemes, design, dimensions, type, tonal differences and specifications may differ from the actual fittings installed in the flat.*

November 2017