



PARC RESIDENCES
@ T E N G A H

HDB's Sales Launch August 2020





Homes Within A Park

Located in Tengah town, and bounded by Tengah Park Avenue and Tengah Drive, Parc Residences @ Tengah will be the first public housing development located in the new Park district. The development comprises 12 residential blocks designed with unique curved rooflines, ranging in height from 7 to 14 storeys. You can choose from 1,044 units of 2-room Flexi, 3-, 4-, and 5-room flats.

At Parc Residences @ Tengah, you can experience what it is like to live within a park, as the development is nestled between the lush Forest Fringe and Plantation Farmway. Dramatic sky terraces bridging across some of the residential blocks offer panoramic views of the surrounding greenery and central green. There are also roof gardens above the Multi-Storey Car Park and the neighbourhood centre.

Parc Residences @ Tengah is located near 2 upcoming Jurong Region Line MRT stations, and will be served by bus services leading to the city and nearby towns. With an extensive network of walking and cycling paths, residents will also be able to walk and cycle everywhere in Tengah.



The neighbourhood centre within Parc Residences @ Tengah will be provided with a polyclinic, supermarket, food court, F&B outlets, enrichment centres, shops, and restaurants. The development also comes with a childcare centre, education centre, and a Residents' Committee Centre. Please refer to the site plan for the facilities provided in Parc Residences @ Tengah. Facilities in this development will be accessible by the public.



About Park District

Park District is located at the heart of Tengah, nestled within a lush forest park.

Residents can enjoy quality living amidst greenery, and connect with the community through a myriad of amenities and green spaces. There are green and blue spaces found within Park District, such as the Plantation and Garden Farmways, Rainforest Walk, Forest Stream, green links, rain gardens, and skyrise greenery. These spaces provide visual relief and create more outdoor recreational opportunities for residents.

Located in Park District, the Market Place will be the first car-free HDB town centre in Singapore, which will provide a safe environment for walking and cycling. The town centre will be set amidst a lush park, with vehicles plying underneath the town centre. It will offer a greener, car-lite, people-friendly, and pedestrian-friendly environment.



A Green Haven

Homes in Tengah town will be surrounded by lush greenery and nature. To harness nature's benefits for greater environmental health and human well-being, HDB has applied its Biophilic Town Framework to guide the enhancement of existing natural assets and the development of neighbourhood landscapes in Tengah. Residents can look forward to nature-centric neighbourhoods that offer a strong sense of place, better well-being, and an enhanced quality of life.



A town-wide Active, Beautiful, and Clean Waters design strategy will be introduced to draw people closer to nature and offer a varied landscape experience, while slowing down and treating stormwater runoff. For more details on Tengah town, please visit HDB's exhibition (<http://www20.hdb.gov.sg/fi10/fi10349p.nsf/tengah/indexcopy.html>) at HDB Hub, Toa Payoh.



Tengah will be the first town to integrate with the area's surrounding greenery and biodiversity. One major attraction will be the creation of an approximately 100-metre wide and 5km long Forest Corridor, which will form part of the larger network of greenery that connects the Western Water Catchment Area and the Central Catchment Nature Reserve. In collaboration with the National Parks Boards, various tree species will be planted in the Forest Corridor to transform it into a rich forest habitat.

Complementing the Forest Corridor is the Forest Fringe, a 15- to 20-metre wide linear greenscape that will provide a tranquil and rustic environment for residents to enjoy flora and fauna, and envelop the town within a scenic and natural landscape. In addition, extensive park spaces, such as the Central Park and Community Farmways, will string key amenities and facilities together, providing a safe environment for residents to access their daily amenities.

Tengah will be the first HDB town to have a car-free town centre nestled next to a lush green park. To encourage green commuting, there will be dedicated walking and cycling paths along all roads to create seamless connections within the town. The upcoming Jurong Region Line and bus services will serve the public transport needs of residents.



Tengah is also the first HDB town to be planned with town-wide smart technologies from the outset. Guided by HDB's Smart Town Framework, the Plantation District will integrate smart technology in its design, so that residents can enjoy a quality living environment. Autonomous vehicles will be piloted in Tengah town to provide convenient first-mile-last-mile connection to key transport nodes and amenities.

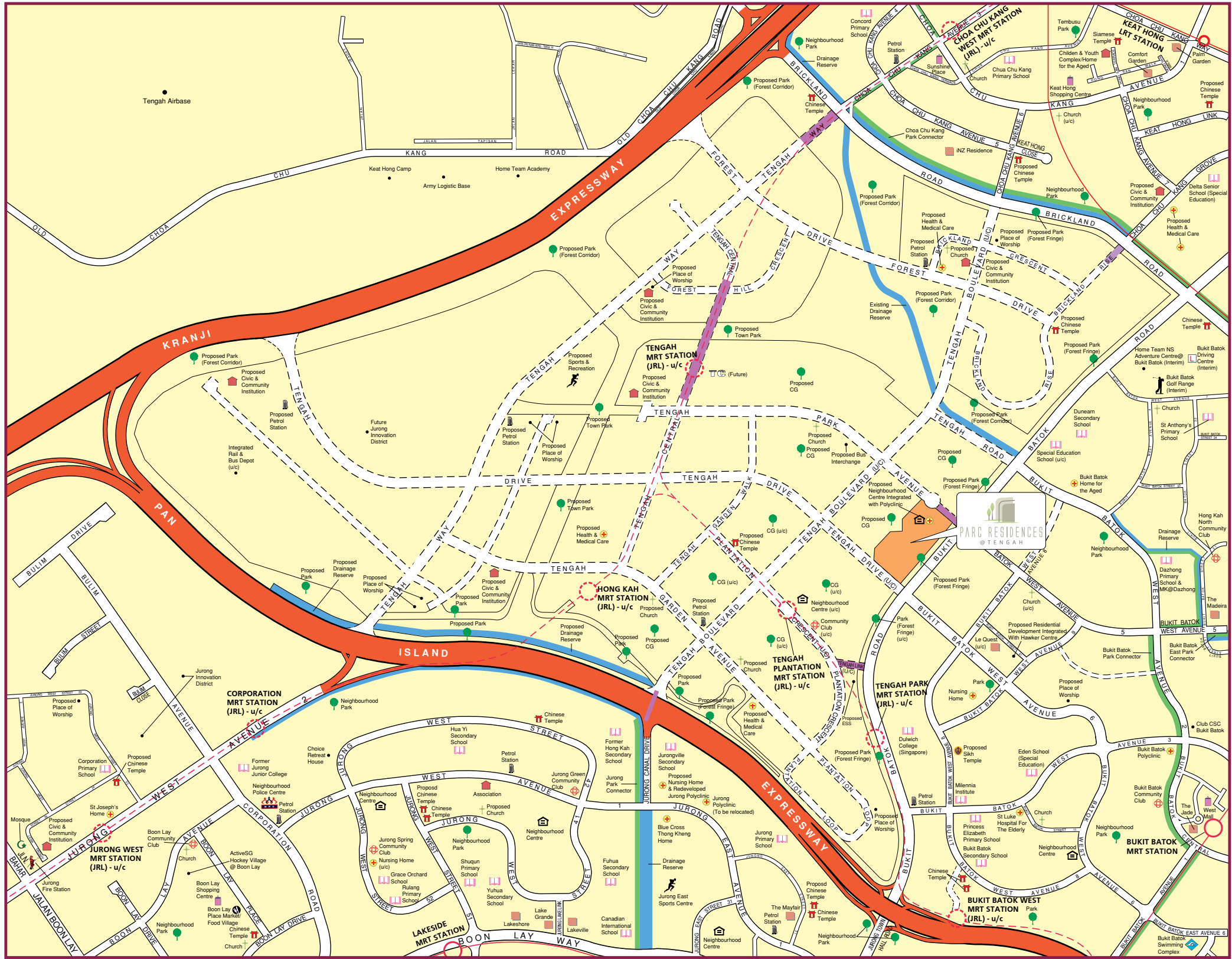
Vibrant commercial facilities are planned for the town centre and in the districts, complementing other shopping and dining options in the nearby Bukit Batok town. Check out the heartland shops on Where2Shop@HDB (<https://www.hdb.gov.sg/cs/infoweb/residential/where2shop/explore/bukit-batok>).

* Artist's impression only. Actual design may vary.

Important Notes

HDB precincts are planned to serve the evolving needs of the community. There are spaces catered for future inclusion of amenities/facilities (such as childcare centres, elderly-related facilities, education centres, residents' committee centres and day activity centres), commercial facilities (such as shops and eating houses), mechanical and electrical rooms and such other facilities depending on the prevailing needs. These spaces could be in the void decks, common property, car parks or stand-alone community buildings.

To facilitate your flat selection, we have provided information on the surrounding land use, proposed facilities and their locations in the maps and plans in this brochure. As the information provided is based on the current planning intent of the relevant government agencies, they are indicative only and are subject to review from time to time.

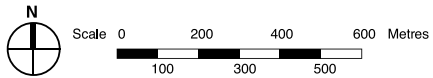


LEGEND:

- MRT Line & Station
- MRT Lines & Station (u/c) (working names only)
- CG Common Green
- LRT Line & Station
- Under Construction/Future Road
- (u/c) Under Construction
- ESS Electrical Substation
- Future Transit Priority Corridor
- MK MOE Kindergarten

Notes:

- All proposed developments are subject to change and planning approval. The implementation is subject to review from time to time by the relevant authorities. The proposed facilities and their locations shown are indicative only.
- Proposed Place of Worship includes examples like Church, Mosque, Chinese Temple, Hindu Temple, etc.
- Proposed Civic & Community Institution includes examples like Community Centre/Club, Association, Home for the Aged, etc.
- Proposed Health & Medical Care includes examples such as Hospitals, Polyclinics, Clinics, Nursing Homes and Elder care Facilities, etc.
- The facilities shown (whether existing or proposed) may include other ancillary uses allowed under URA's prevailing Development Control guidelines. For example, places of worship and funeral parlours may include columbarium, community centres may include childcare centres, and schools may be upgraded or built with higher-rise blocks. The future land use for former school sites are subject to review or changes by the relevant authorities.
- Transit Priority Corridors (TPCs) are corridors that put together a combination of bus priority solutions to enhance bus priority. Features may include existing measures such as bus lanes or new concepts such as bus-only roads.
- In view of the COVID-19 situation, temporary COVID-19 related facilities may be set up near residential areas by the relevant authorities.



The information contained herein is subject to change at any time without notice and cannot form part of an offer or contract. While reasonable care has been taken in providing this information, HDB shall not be responsible in any way for any damage or loss suffered by any person whether directly or indirectly as a result of reliance on the said information or as a result of any error or omission therein.

Eco-Friendly Living

In a bid to go green for the earth, Parc Residences @ Tengah will have several eco-friendly features to encourage green and sustainable lifestyles, such as:

- 🌱 Separate chutes for recyclable waste
- 🌱 Regenerative lifts to reduce energy consumption
- 🌱 Bicycle stands to encourage cycling as an environmentally-friendly form of transport
- 🌱 Parking spaces to facilitate car-sharing schemes
- 🌱 Use of sustainable and recycled products in the development
- 🌱 Active, Beautiful, Clean Waters design features to clean rainwater and beautify the landscapes



Separate chutes for recyclable waste



Bicycle stands



ABC Waters design features

Smart Solutions

Parc Residences @ Tengah will come with the following smart solutions to reduce energy usage, and contribute to a more sustainable and safer living environment:

- 🌱 Smart-Enabled homes with provisions to support easy installation of smart systems
- 🌱 Smart Lighting in common areas to reduce energy usage
- 🌱 Smart Pneumatic Waste Conveyance System to optimise the deployment of resources for cleaner and fuss-free waste disposal



Centralised Cooling System

Flat owners at Parc Residences @ Tengah can subscribe to have air conditioning provided from a centralised cooling system. This system for public housing is the first of its kind in Singapore.

Cooling to each household unit will come from highly energy efficient chillers. Home owners also do not need to install and maintain outdoor condensing units on their air-conditioner ledge. They will therefore enjoy cost savings while contributing to a sustainable lifestyle in this eco-friendly district. Home owners may decide to subscribe to the centralised cooling system after signing the Agreement for Lease. More information will be provided during the flat selection exercise.

For further enquiries, please contact SP Group at tengahcooling@spgroup.com.sg.

Lush Residences

To boost construction productivity, Parc Residences @ Tengah will be built using the Prefabricated Prefinished Volumetric Construction (PPVC) method.

Choose from a range of 2-room Flexi, 3-, 4-, and 5-room flats. These flats will come with full floor finishes, internal doors, and sanitary fittings.

2-room Flexi Available either on a 99-year lease or short-lease	3-, 4-, and 5-room
🌿 Vinyl strip flooring in the: • living/ dining room • bedroom 🌿 Floor tiles in the: • household shelter • bathroom • kitchen 🌿 Wall tiles in the: • bathroom • kitchen 🌿 A sliding partition/ door for the bedroom and folding bathroom door 🌿 Sanitary fittings, i.e. wash basin with tap mixer, shower set with bath/ shower mixer, and water closet suite 🌿 Grab bars (for 2-room Flexi flats on short-leases)	🌿 Vinyl strip flooring in the: • living/ dining room • bedrooms 🌿 Floor tiles in the: • household shelter • bathroom • kitchen/ utility (3-room) • kitchen, service yard (4- and 5-room) 🌿 Wall tiles in the: • bathrooms • kitchen/ utility (3-room) • kitchen (4- and 5-room) 🌿 Internal doors for bedrooms and folding doors for bathrooms 🌿 Sanitary fittings, i.e. wash basin with tap mixer, shower set with bath/ shower mixer, and water closet suite

To cater to changing lifestyles and provide more flexibility in the use of kitchen space, HDB has designed the 3-room flats with an open kitchen concept comprising a dry kitchen and a combined kitchen/ utility space. The layout offers homeowners lots of flexibility in configuring the area according to their preferences. For example, you can add a partition to separate the:

- Utility from Kitchen
- Dry and Wet Kitchens
- Kitchen from Living/ Dining area

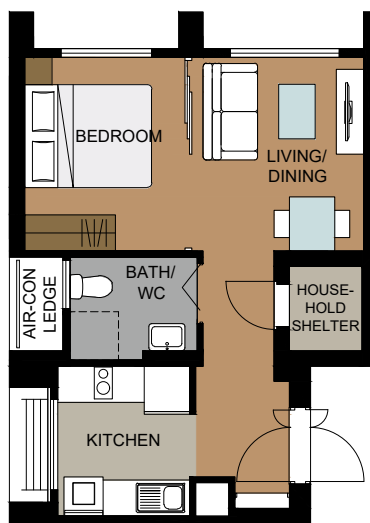
See suggested layout ideas in page 14 and page 15.

Optional Component Scheme

Elderly buyers of short-lease 2-room Flexi flats can opt in for elderly-friendly fittings and other items under the Optional Component Scheme (OCS). Please refer to the attached OCS leaflet for details.

To meet different lifestyle needs, the OCS package for elderly buyers of the 46sqm 2-room Flexi flats provides a wall and laminated UPVC sliding door. This offers a flexible space that elderly buyers may use according to their preference, such as an area for dining, a study, or to place an extra bed.

If an elderly buyer opts in for the OCS, the cost of the optional components will be added to the price of the 2-room Flexi flat.

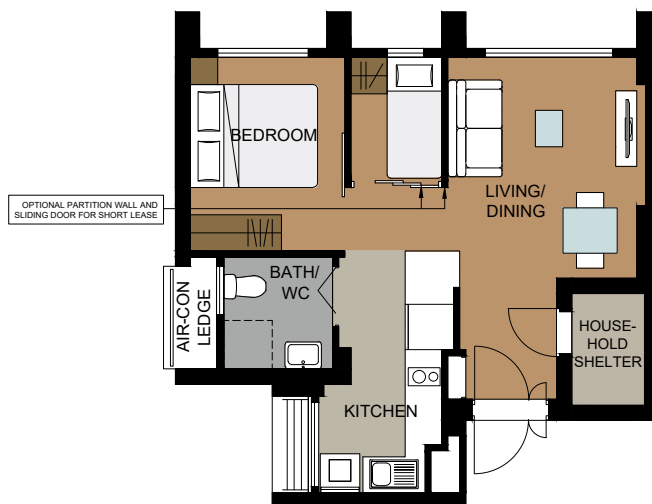


2-ROOM FLEXI (TYPE 1) FLOOR PLAN

(With Suggested Furniture Layout)

APPROX. FLOOR AREA 40 sqm

(Inclusive of Internal Floor Area of 38 sqm and Air-Con Ledge)



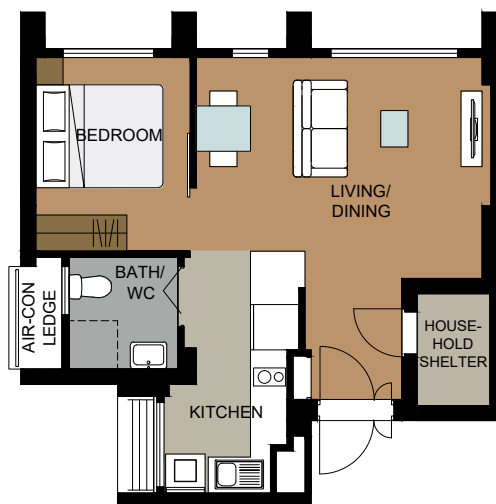
2-ROOM FLEXI (TYPE 2) FLOOR PLAN

(With Suggested Furniture Layout)

APPROX. FLOOR AREA 48 sqm

(Inclusive of Internal Floor Area of 46 sqm and Air-Con Ledge)

To meet different lifestyle needs, the 46sqm 2-room Flexi flats come with a flexible space which flat buyers can use according to their preference. This flexible space can be used for dining, a study, or to place an extra bed.

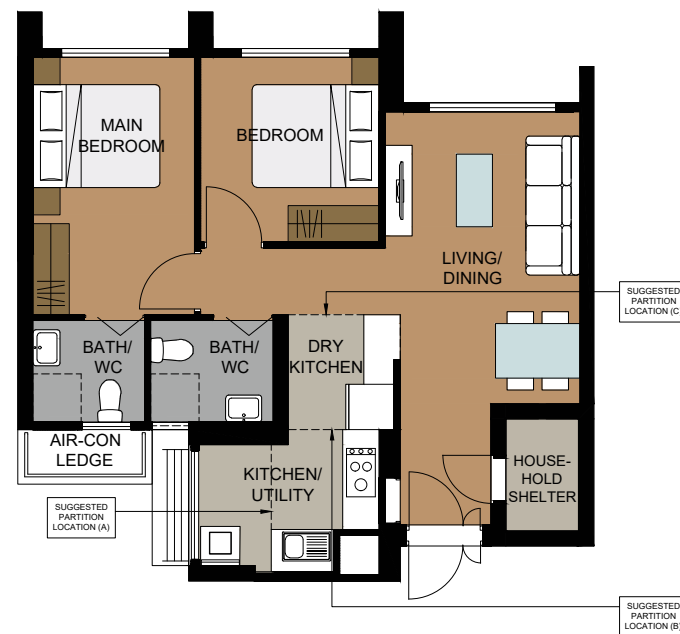


2-ROOM FLEXI (TYPE 2) FLOOR PLAN

(With Suggested Furniture Layout)

APPROX. FLOOR AREA 48 sqm

(Inclusive of Internal Floor Area of 46 sqm and Air-Con Ledge)



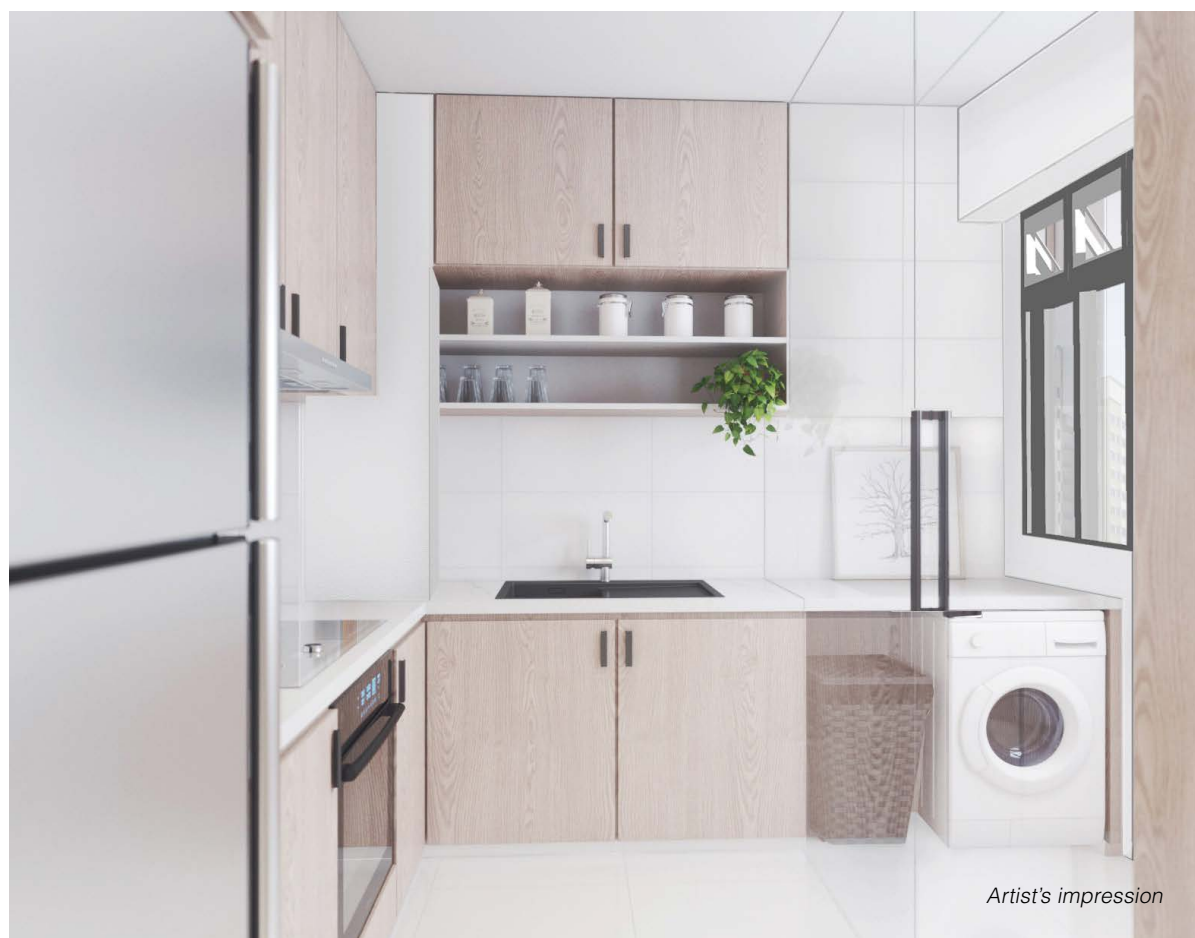
To cater to changing lifestyles and provide more flexibility in the use of kitchen space, HDB has designed the 3-room flats with an open kitchen concept comprising a dry kitchen and a combined kitchen/ utility space. The layout offers homeowners lots of flexibility in configuring the area according to their preferences. For example, you can add a partition to separate the:

- Utility from Kitchen (A)
- Dry and Wet Kitchens (B)
- Kitchen from Living/ Dining area (C)

3-ROOM FLOOR PLAN (With Suggested Furniture Layout) APPROX. FLOOR AREA 70 sqm (Inclusive of Internal Floor Area of 68 sqm and Air-Con Ledge)



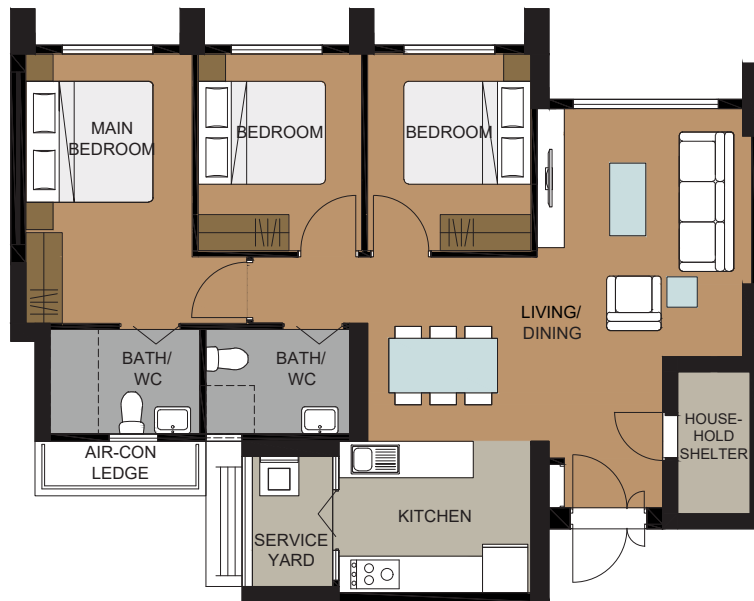
Partition B - Separating Dry and Wet Kitchen



Partition A - Separating Utility from Kitchen



Partition C - Separating Kitchen from Living/ Dining area

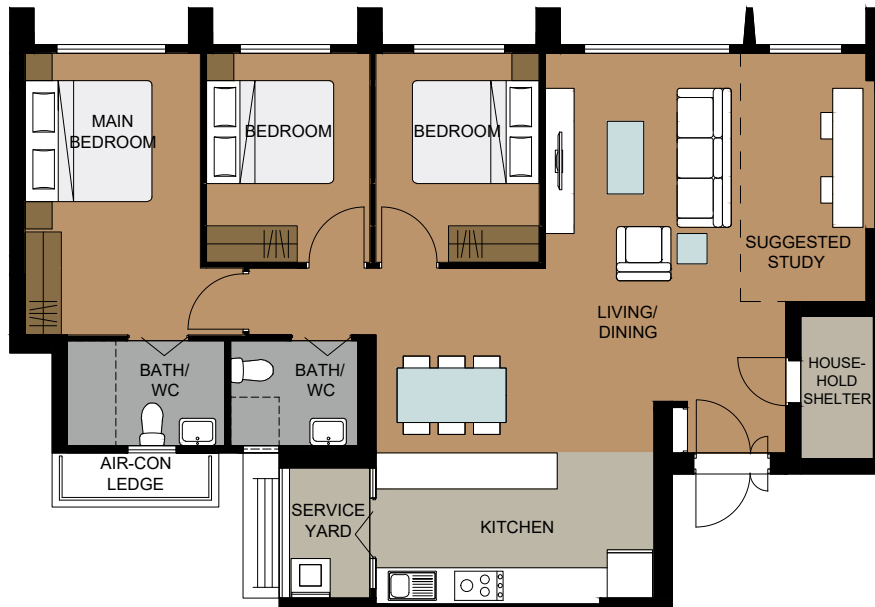


4-ROOM FLOOR PLAN

(With Suggested Furniture Layout)

APPROX. FLOOR AREA 95 sqm

(Inclusive of Internal Floor Area of 92 sqm and Air-Con Ledge)

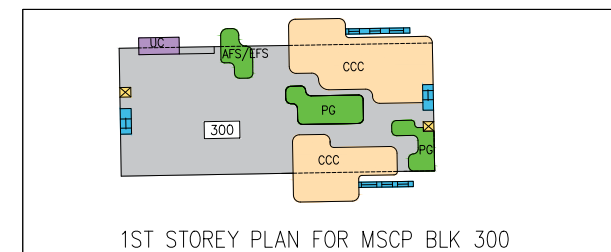


5-ROOM FLOOR PLAN

(With Suggested Furniture Layout)

APPROX. FLOOR AREA 113 sqm

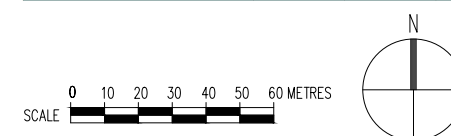
(Inclusive of Internal Floor Area of 110 sqm and Air-Con Ledge)



LEGEND

- 2 - Room Flexi (Type 1)
- 2 - Room Flexi (Type 2)
- 3 - Room
- 4 - Room
- 5 - Room
- Reserved for Development / Existing Development
- Surrounding Buildings / Structures
- Precinct Pavilion (PP) at 1st Storey / Linkbridge (LB) / Linkway / Shelter (S)
- Trellis (T)
- Future Child Care Centre (Future CCC) at 1st Storey
- Shop (SH) / Restaurant (R) / Child Care Centre (CCC) / Education Centre (EC) / Residents' Committee Centre (RCC) at 1st Storey
- Multi-Storey Carpark
- Electrical Sub-Stations (ESS) at 1st Storey
- Utility Centre (UC) at 1st Storey
- Open Space
- Children Playground (PG) / Adult Fitness Station (AFS) / Elderly Fitness Station (EFS) / Hard Court (HC)
- Staircase
- Driveway
- Entrance / Exit to Car Park at 1st Storey / Basement
- Drainage Reserve
- Future Transit Priority Corridor
- Service Bay
- Corridor
- Lift
- Centralised Refuse Chute / Chute for Recyclable Refuse (Pneumatic Waste Conveyance System)
- (U/C) Under Construction

Block Number	Number of Storeys	2 Room Flexi (Type 1)	2 Room Flexi (Type 2)	3 Room	4 Room	5 Room	Total	Lift opens at
300A	14	26	52	11	-	-	89	Every Storey
300B	14	26	52	11	-	-	89	Every Storey
300C	14	-	-	11	50	24	85	Every Storey
300D	7/12	22	34	9	-	-	65	Every Storey
301A	14	-	-	-	51	36	87	Every Storey
301B	14	-	-	-	52	37	89	Every Storey
301C	14	26	52	11	-	-	89	Every Storey
301D	14	-	78	11	-	-	89	Every Storey
302A	14	-	78	-	39	38	155	Every Storey
302B	14	-	-	13	39	25	77	Every Storey
302C	7/12	22	12	10	-	-	44	Every Storey
302D	14	-	-	12	50	24	86	Every Storey
Total		122	358	99	281	184	1044	



Applicants are encouraged to visit the place before booking a flat.

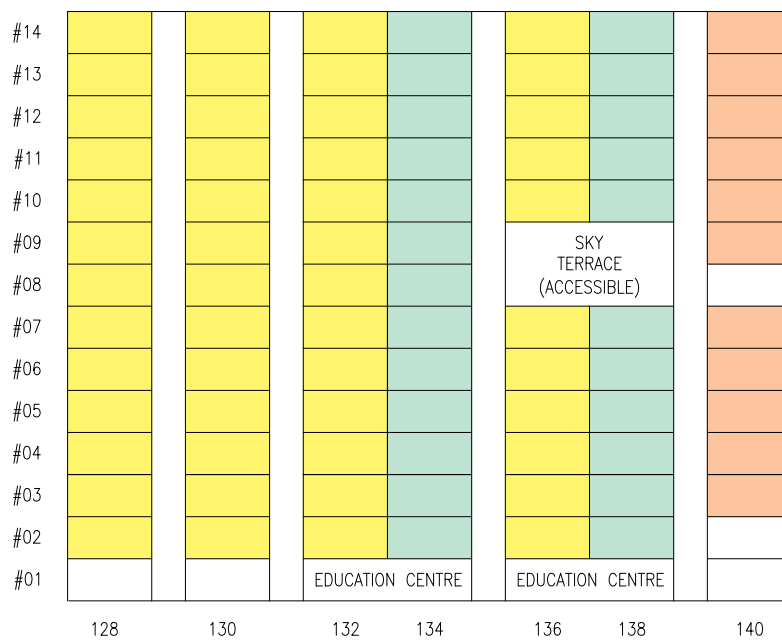


Notes:

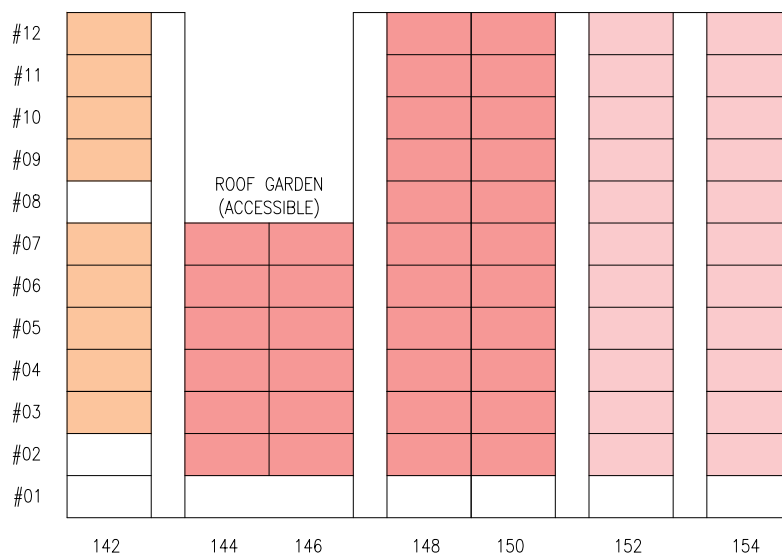
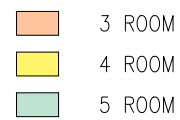
1. All proposed developments are subject to change and planning approval. The implementation is subject to review from time to time by the relevant authorities. The proposed facilities and their locations shown are indicative only.
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3. The use of the void deck in any apartment block, common property (such as precinct pavilion), car park or stand-alone community building for future amenities/facilities (such as childcare centres, elderly-related facilities, education centres, residents' committee centres and day activity centres), commercial facilities (such as shops and eating houses), mechanical and electrical rooms and such other facilities, is subject to review from time to time.
4. The residential blocks may be completed ahead of the proposed precinct facilities, so that flat buyers are able to collect the keys to their new homes earlier.
5. Unless otherwise indicated in the sales brochure, all facilities within the project, including but not limited to roof gardens and sky terraces (if any), will be open to the public.
6. *Transit Priority Corridors (TPCs) are corridors that put together a combination of bus priority solutions to enhance bus priority. Features may include existing measures such as bus lanes or new concepts such as bus-only roads.
7. In view of the COVID-19 situation, temporary COVID-19 related facilities may be set up near residential areas by the relevant authorities.

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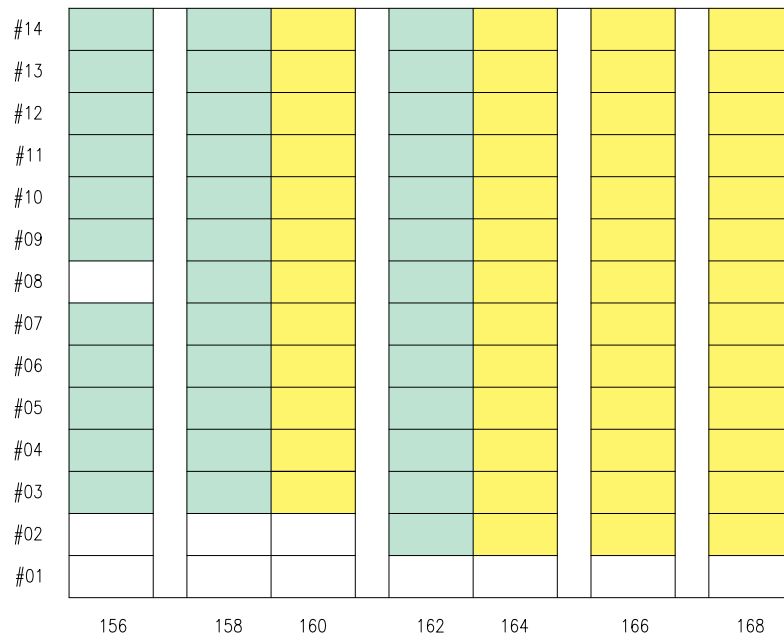


BLOCK 300C

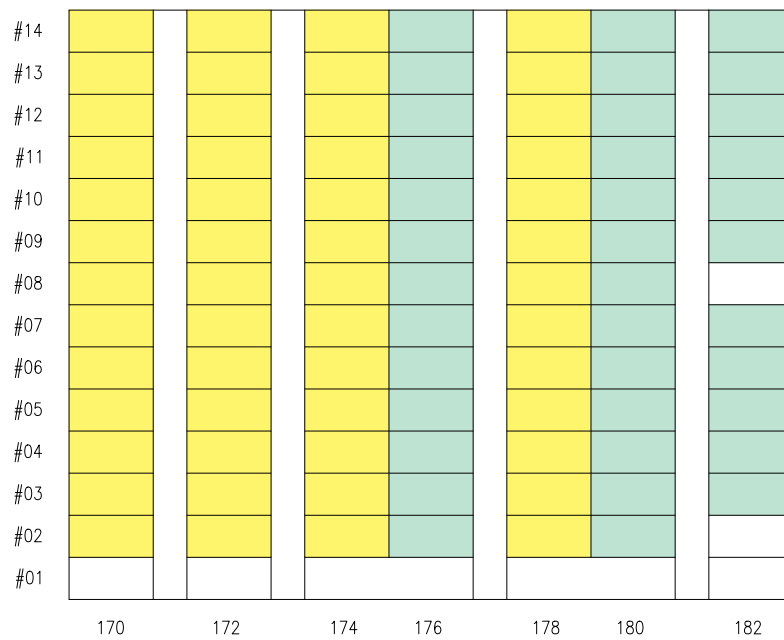
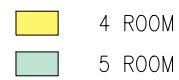


BLOCK 300D

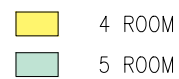


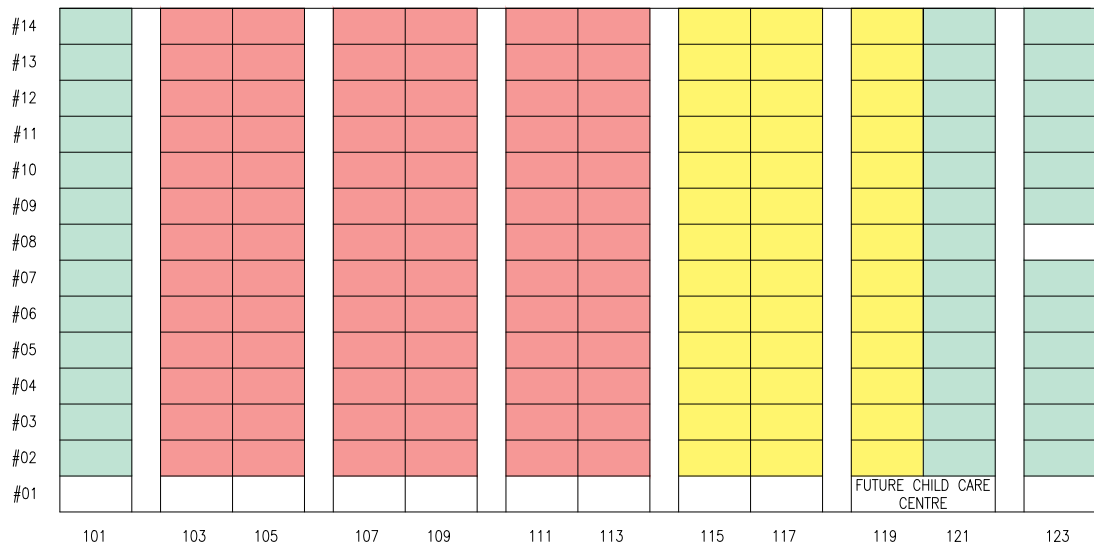


BLOCK 301A



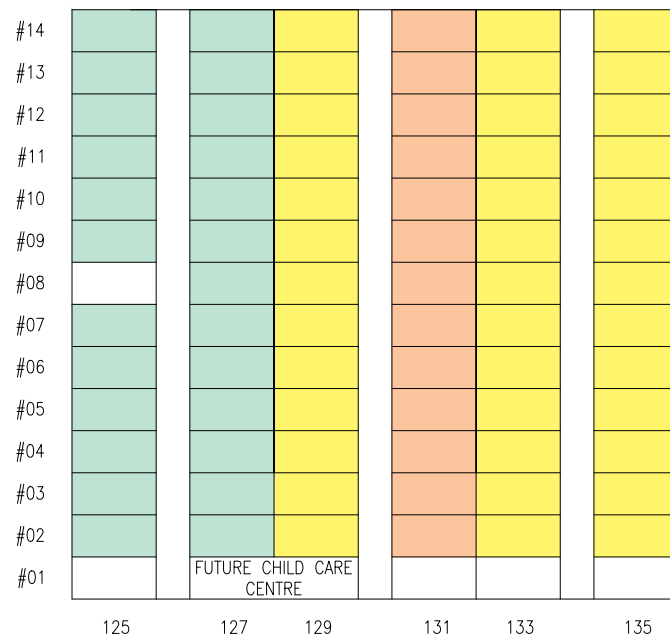
BLOCK 301B





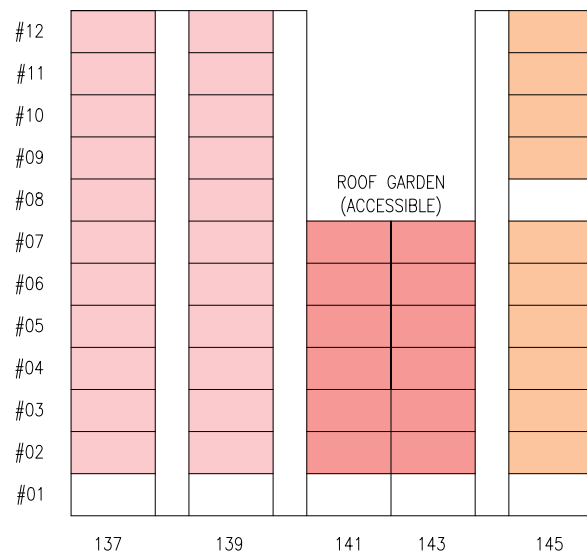
BLOCK 302A

- 2 ROOM FLEXI (TYPE 2)
- 4 ROOM
- 5 ROOM



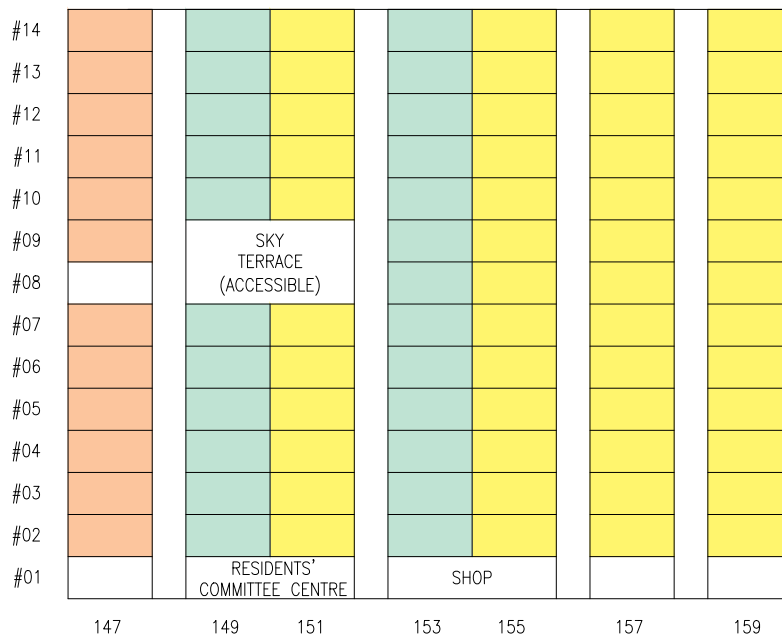
BLOCK 302B

- 3 ROOM
- 4 ROOM
- 5 ROOM



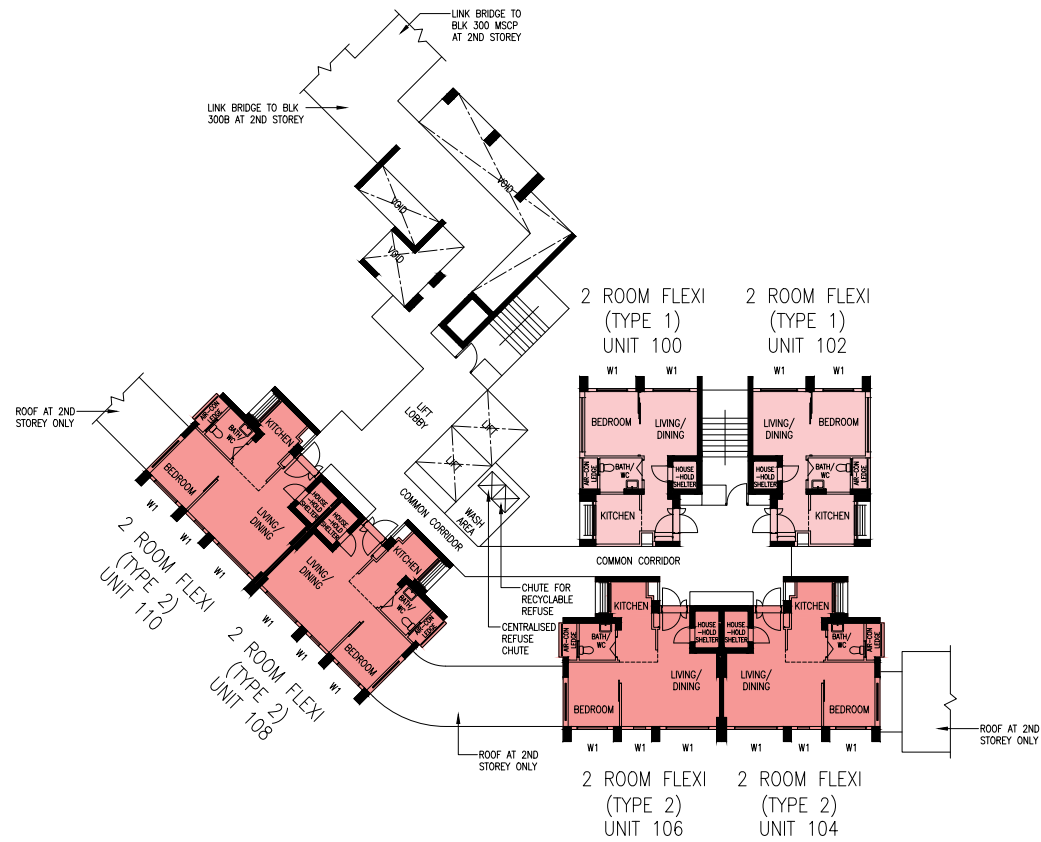
BLOCK 302C

- 2 ROOM FLEXI (TYPE 1)
- 2 ROOM FLEXI (TYPE 2)
- 3 ROOM



BLOCK 302D

- 3 ROOM
- 4 ROOM
- 5 ROOM



BLOCK 300A (2ND STOREY FLOOR PLAN)

UNITS AT AND ABOVE 11TH STOREY ARE HIGHER THAN THE MAIN
ROOF GARDEN LEVEL OF BLK 300

WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT
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BLOCK 300A (3RD TO 7TH & 10TH TO 14TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 11TH STOREY ARE HIGHER THAN THE MAIN
ROOF GARDEN LEVEL OF BLK 300

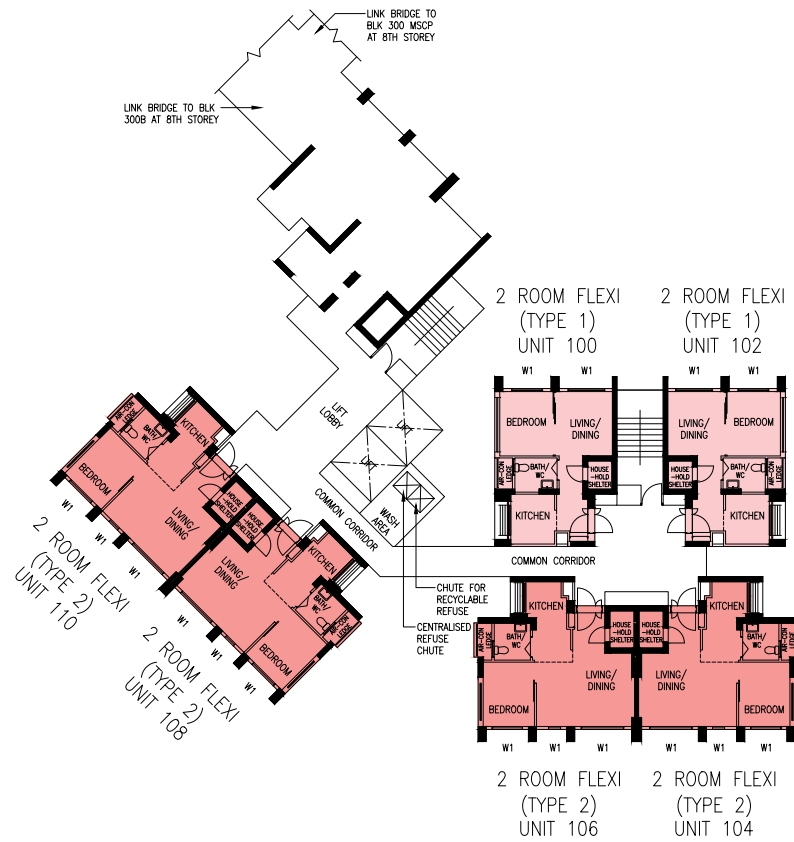
WINDOW LEGEND :

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METER

THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT



BLOCK 300A (8TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 11TH STOREY ARE HIGHER THAN THE MAIN
ROOF GARDEN LEVEL OF BLK 300

WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT
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BLOCK 300A (9TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 11TH STOREY ARE HIGHER THAN THE MAIN
ROOF GARDEN LEVEL OF BLK 300

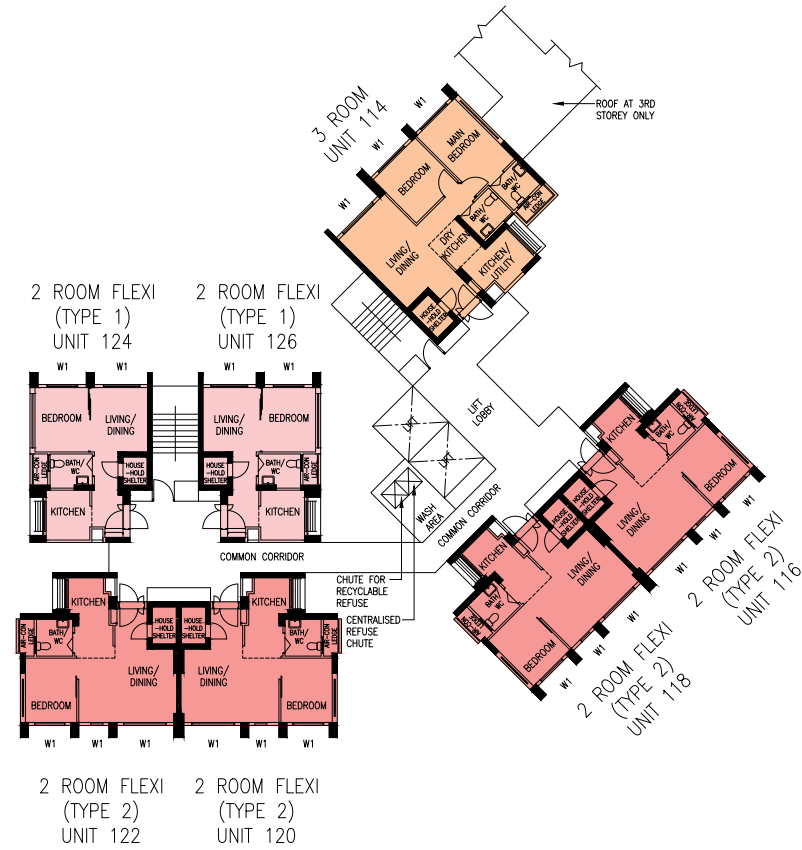
WINDOW LEGEND :

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METER

THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT



BLOCK 300B (3RD TO 7TH & 10TH TO 14TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 11TH STOREY ARE HIGHER THAN THE MAIN
ROOF GARDEN LEVEL OF BLK 300

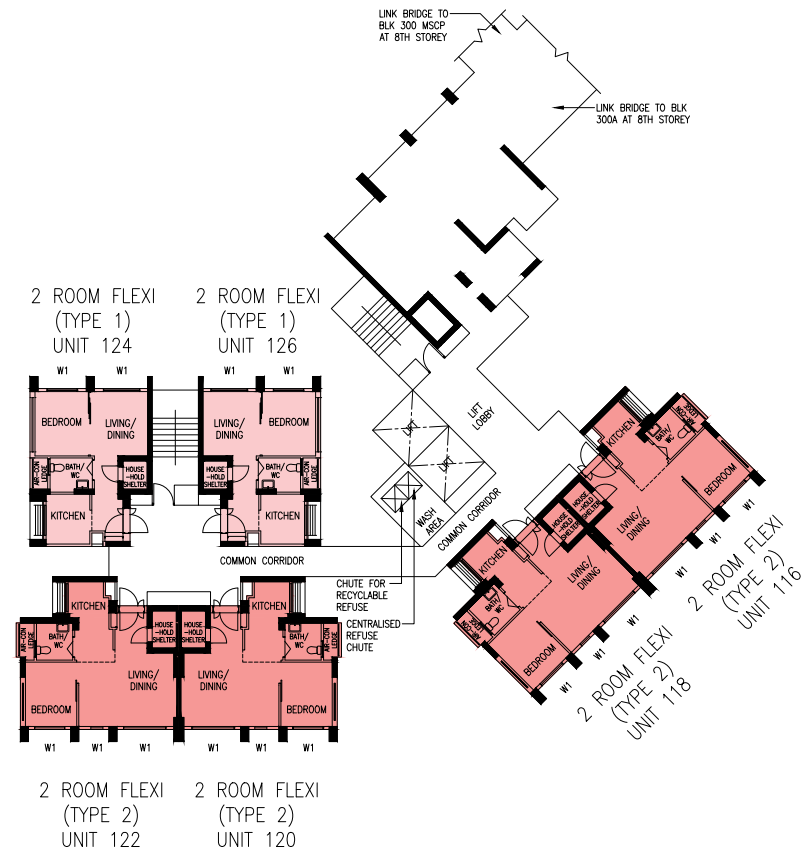
WINDOW LEGEND :

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METER

THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT



BLOCK 300B (8TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 11TH STOREY ARE HIGHER THAN THE MAIN
ROOF GARDEN LEVEL OF BLK 300

WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT
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BLOCK 300C (2ND STOREY FLOOR PLAN)

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF
GARDEN LEVEL OF BLK 300

WINDOW LEGEND :

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METER

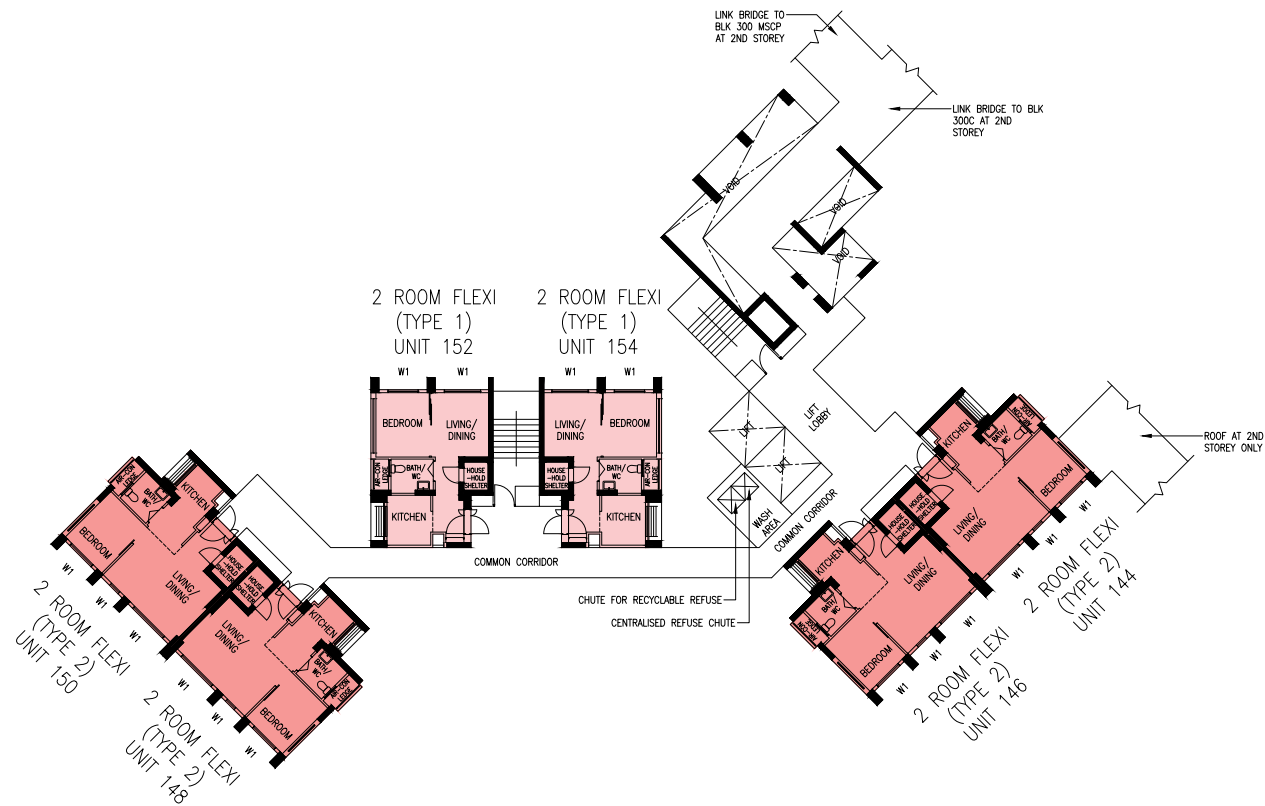
THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT



BLOCK 300C (8TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF GARDEN LEVEL OF BLK 300

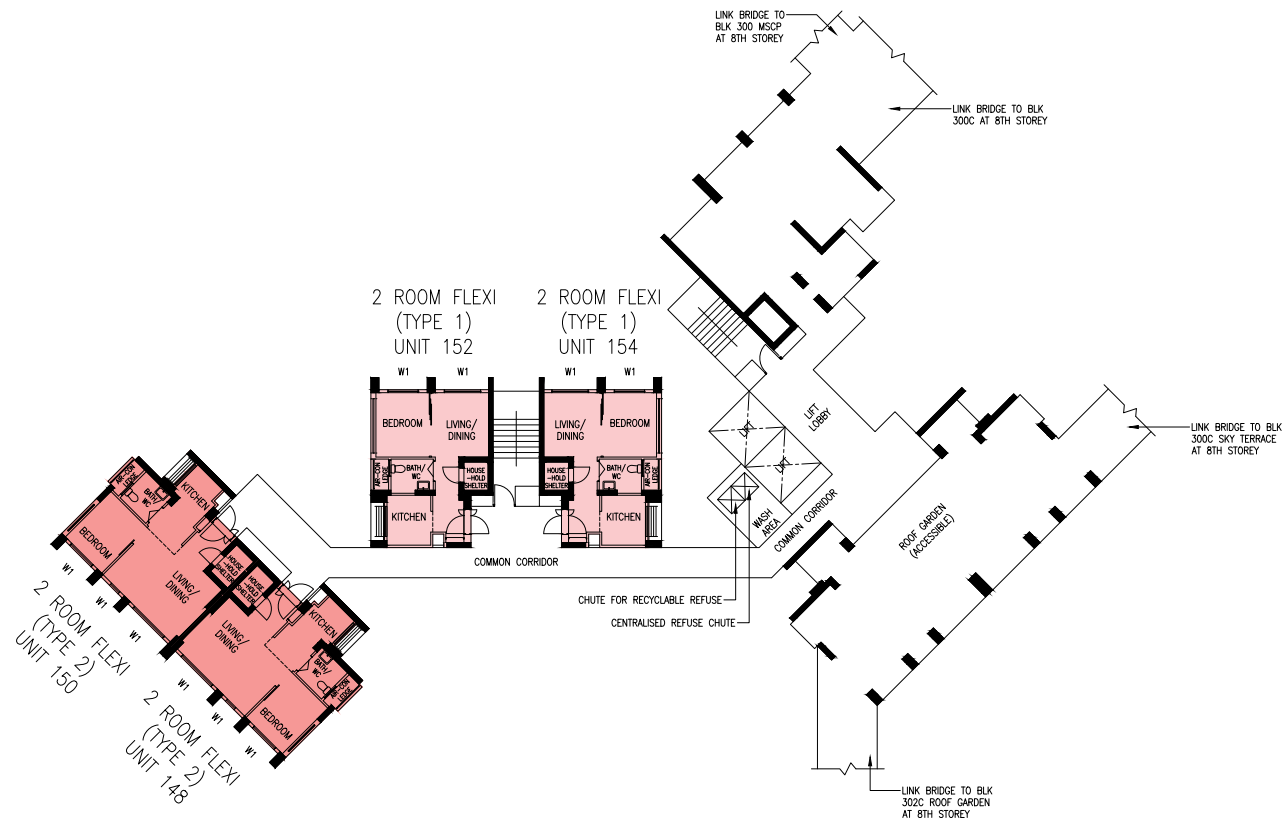
WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATTE THE BOUNDARY OF THE FLAT
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BLOCK 300D (2ND STOREY FLOOR PLAN)

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF
GARDEN LEVEL OF BLK 300

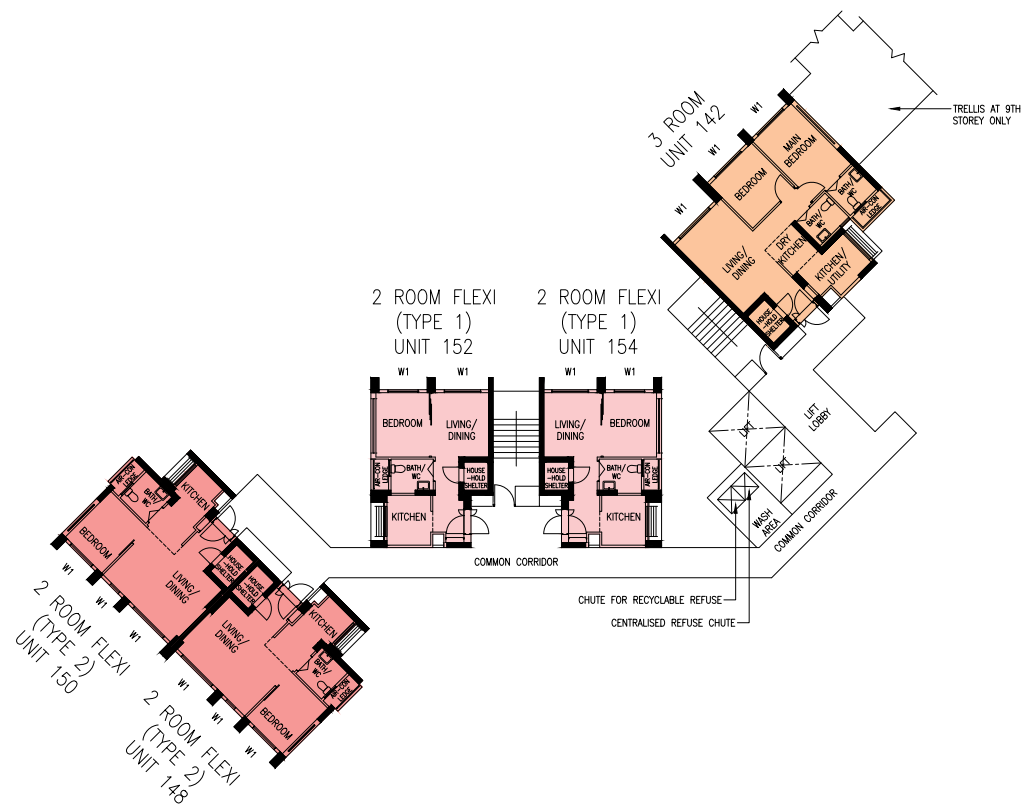
WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT
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BLOCK 300D (8TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF GARDEN LEVEL OF BLK 300

WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT
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BLOCK 300D (9TH TO 12TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF
GARDEN LEVEL OF BLK 300

WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT
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BLOCK 301A (2ND STOREY FLOOR PLAN)

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF
GARDEN LEVEL OF BLK 300

WINDOW LEGEND :

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METER

THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT



BLOCK 301A (3RD TO 7TH & 10TH TO 14TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF
GARDEN LEVEL OF BLK 300

WINDOW LEGEND :

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METER

THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT



BLOCK 301A (8TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF
GARDEN LEVEL OF BLK 300

WINDOW LEGEND :

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METER

THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT



BLOCK 301A (9TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF
GARDEN LEVEL OF BLK 300

WINDOW LEGEND :

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METER

THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT



BLOCK 301B (2ND STOREY FLOOR PLAN)

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF
GARDEN LEVEL OF BLK 300

WINDOW LEGEND :

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METER

THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT



BLOCK 301B **(8TH STOREY FLOOR PLAN)**

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF GARDEN LEVEL OF BLK 300

WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT
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BLOCK 301B (9TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF
GARDEN LEVEL OF BLK 300

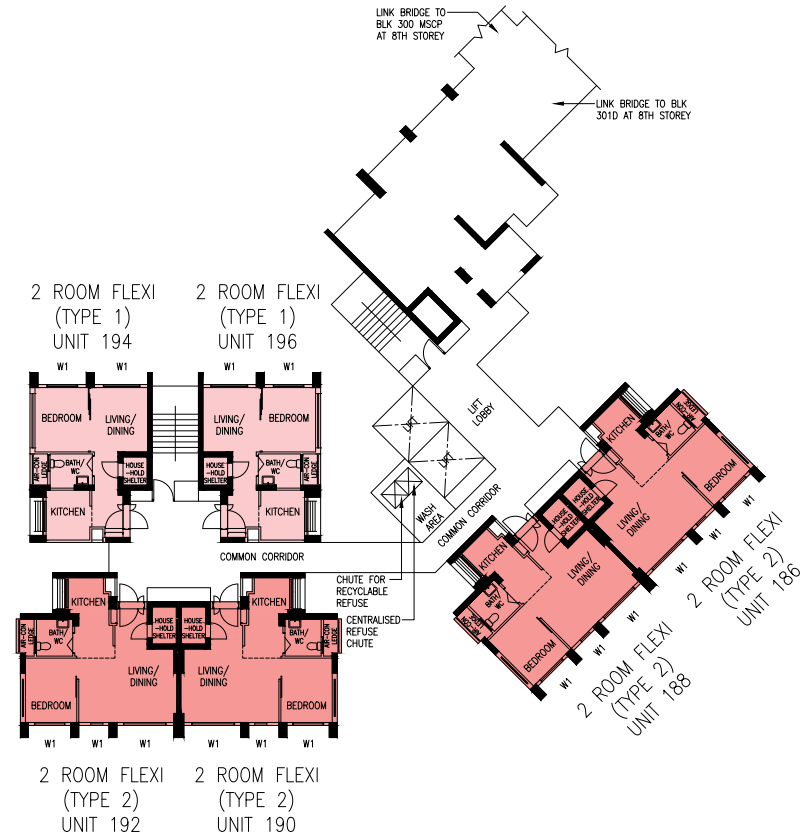
WINDOW LEGEND :

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METER

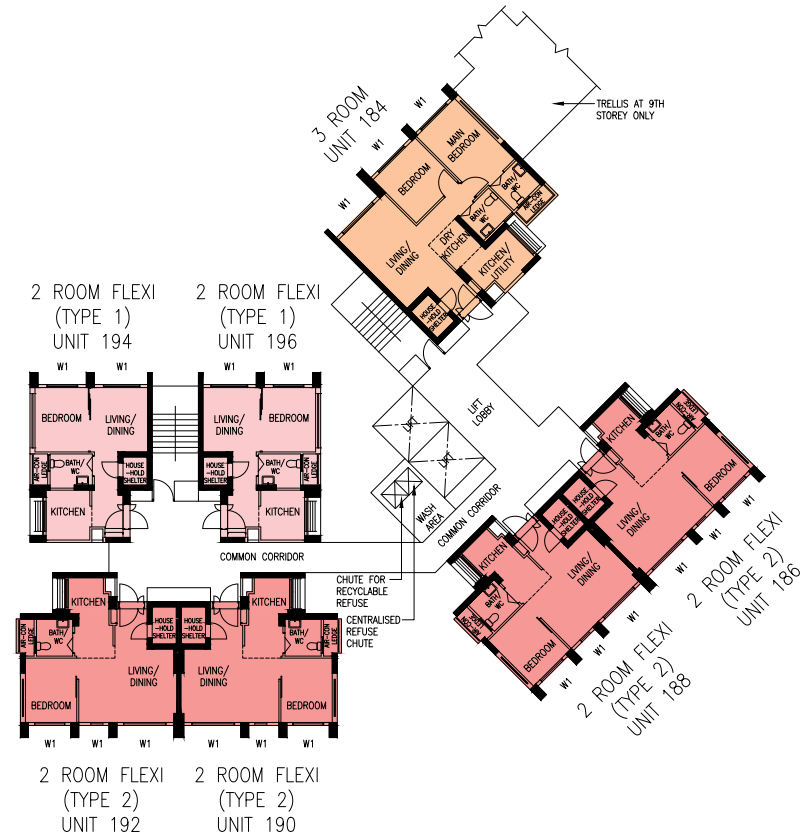
THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT



BLOCK 301C (8TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 11TH STOREY ARE HIGHER THAN THE MAIN
ROOF GARDEN LEVEL OF BLK 300

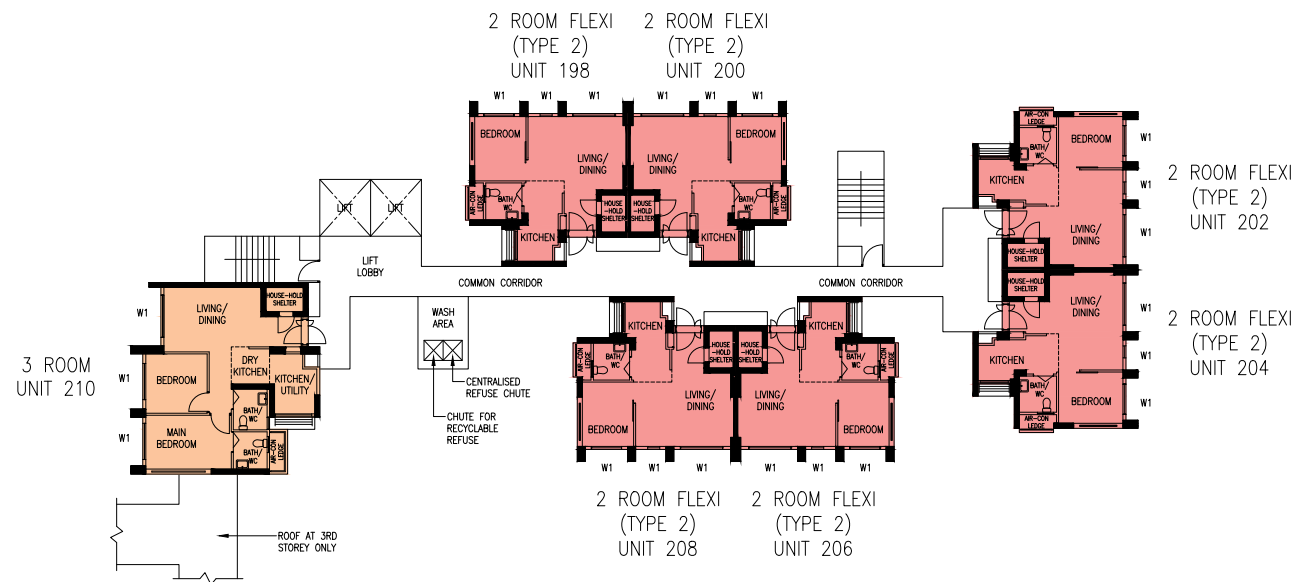
WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT
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BLOCK 301C (9TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 11TH STOREY ARE HIGHER THAN THE MAIN
ROOF GARDEN LEVEL OF BLK 300

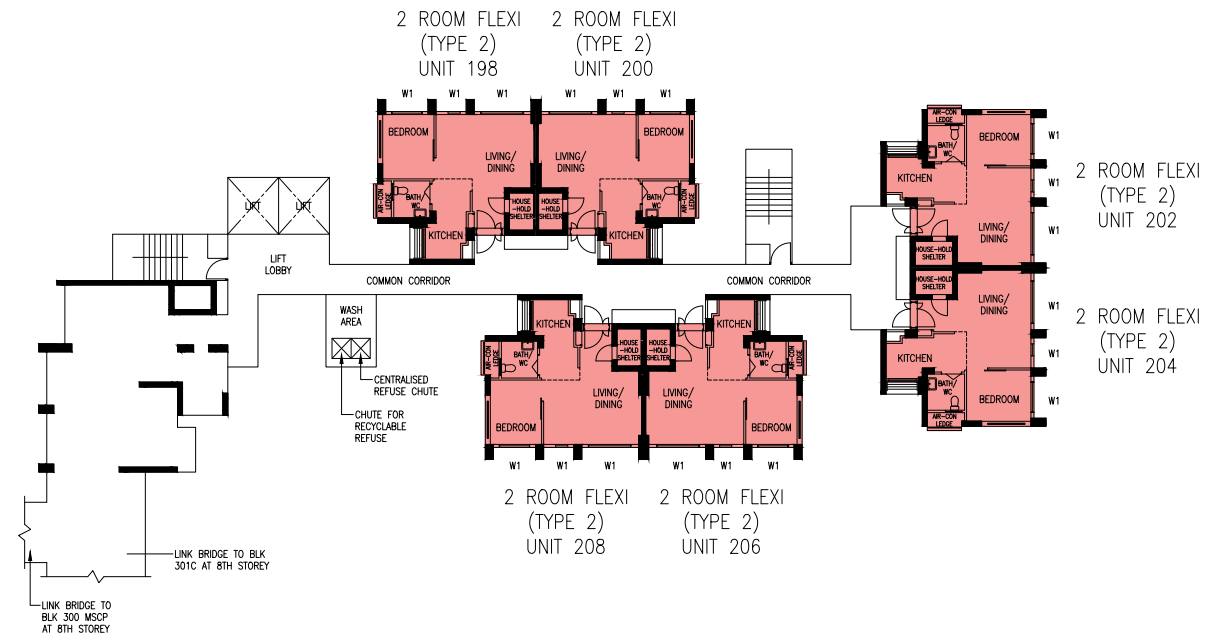
WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT
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BLOCK 301D (3RD TO 7TH & 10TH TO 14TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 11TH STOREY ARE HIGHER THAN THE MAIN
ROOF GARDEN LEVEL OF BLK 300

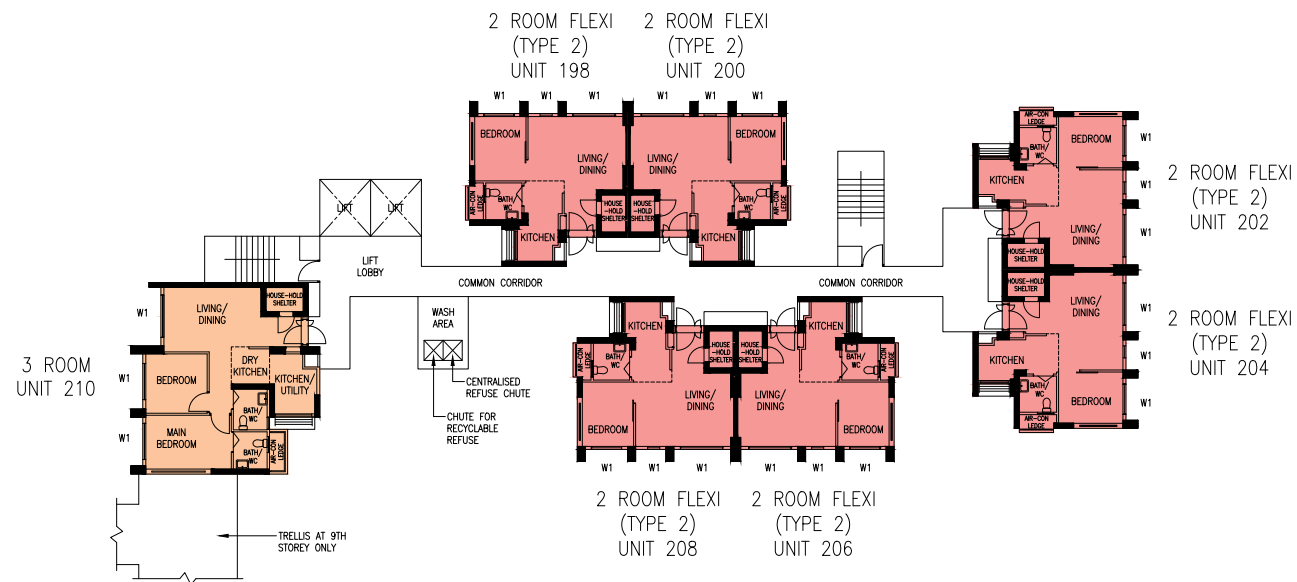
WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT
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BLOCK 301D (8TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 11TH STOREY ARE HIGHER THAN THE MAIN
ROOF GARDEN LEVEL OF BLK 300

WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT
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BLOCK 301D (9TH STOREY FLOOR PLAN)

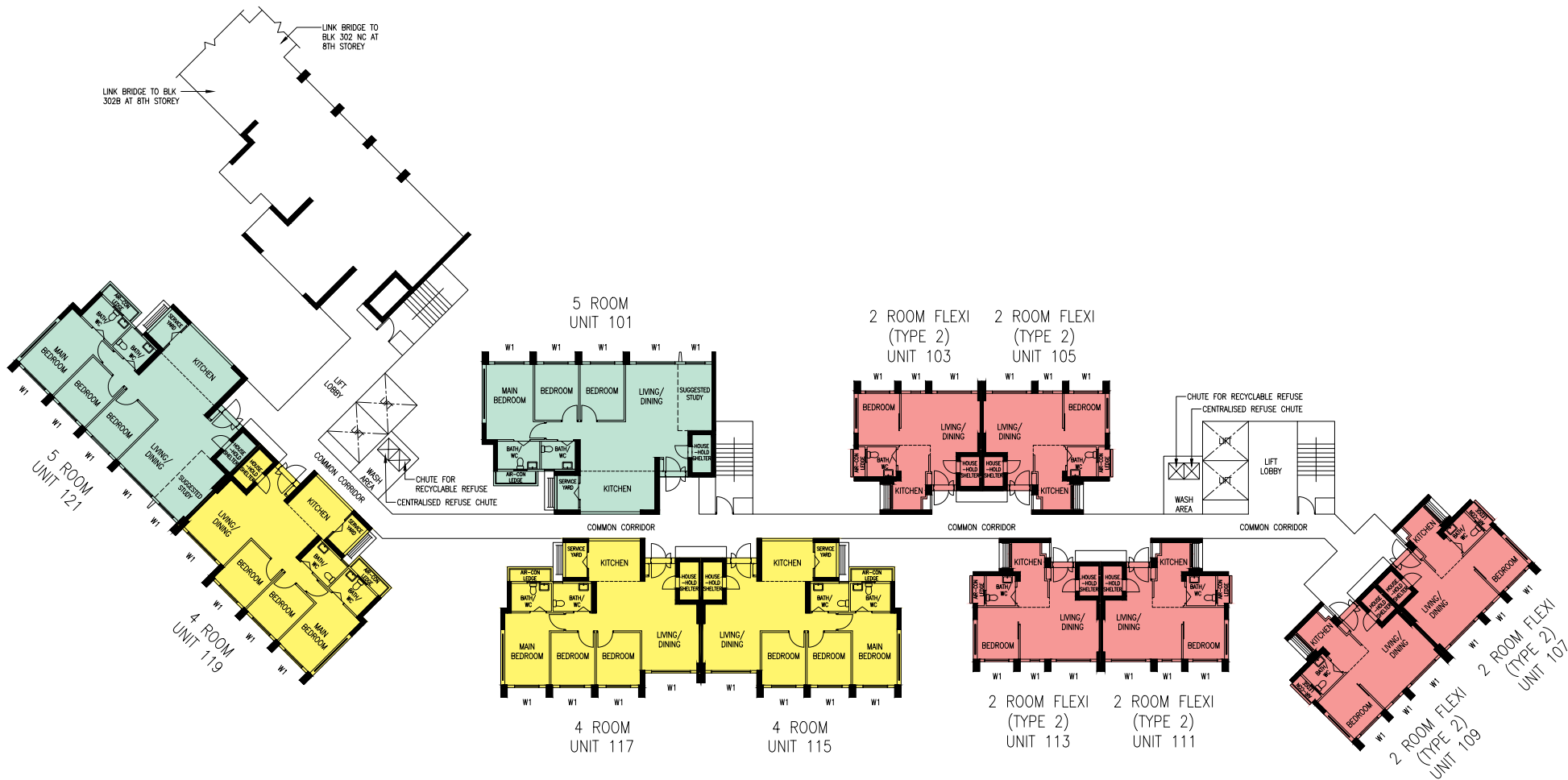
UNITS AT AND ABOVE 11TH STOREY ARE HIGHER THAN THE MAIN
ROOF GARDEN LEVEL OF BLK 300

WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT
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BLOCK 302A
(2ND TO 7TH & 10TH TO 14TH STOREY FLOOR PLAN)
 UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF
 GARDEN LEVEL OF BLK 302

WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATTE THE BOUNDARY OF THE FLAT
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BLOCK 302A (8TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF GARDEN LEVEL OF BLK 302

WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT
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BLOCK 302A (9TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF
GARDEN LEVEL OF BLK 302

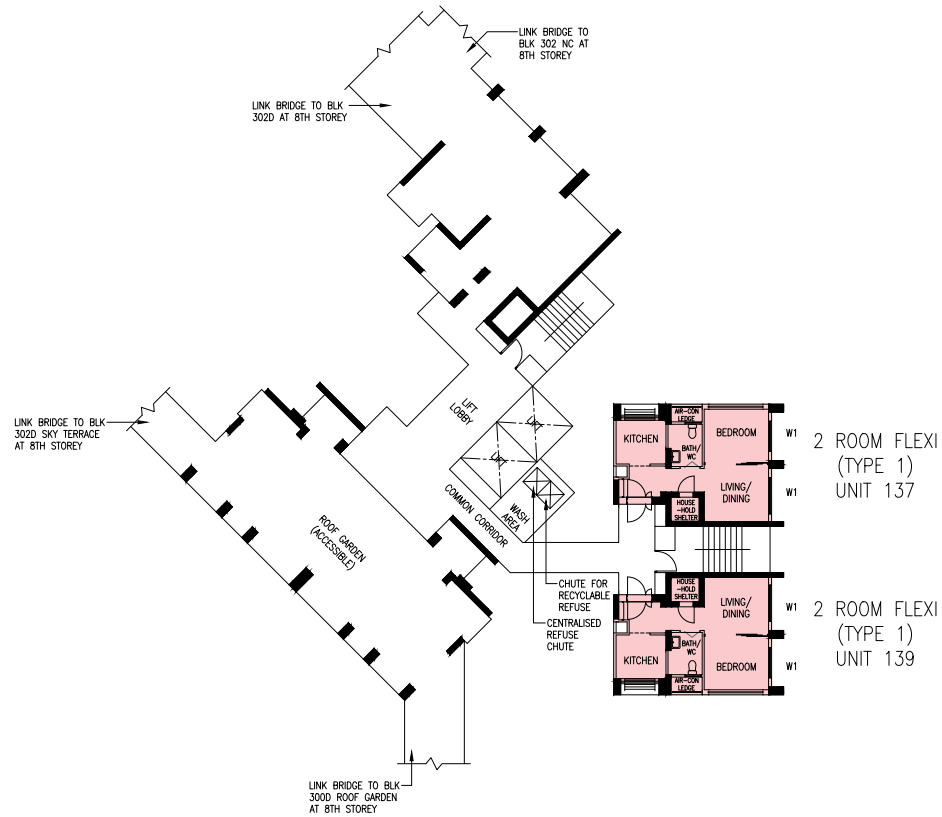
WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATTE THE BOUNDARY OF THE FLAT
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BLOCK 302B (9TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF
GARDEN LEVEL OF BLK 302

WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT
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BLOCK 302C (8TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 8TH STOREY ARE HIGHER THAN THE MAIN ROOF
GARDEN LEVEL OF BLK 302

WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT
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BLOCK 302D (2ND TO 7TH & 10TH TO 14TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 9TH STOREY ARE HIGHER THAN THE MAIN ROOF
GARDEN LEVEL OF BLK 302

WINDOW LEGEND :

W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)

UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS

SCALE 0 2 4 6 8 10 METER

THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATATE THE BOUNDARY OF THE FLAT



BLOCK 302D (8TH STOREY FLOOR PLAN)

UNITS AT AND ABOVE 9TH STOREY ARE HIGHER THAN THE MAIN ROOF
GARDEN LEVEL OF BLK 302

WINDOW LEGEND : W1 - THREE QUARTER HEIGHT WINDOW (APPROX. 500mm HIGH PARAPET WALL)	UNLESS OTHERWISE INDICATED, ALL WINDOWS WILL BE STANDARD HEIGHT WINDOWS	SCALE 0 2 4 6 8 10 METER	THE COLOURED FLOOR PLAN IS NOT INTENDED TO DEMARCATTE THE BOUNDARY OF THE FLAT
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General Specifications For (Parc Residences @ Tengah) **For 2-room Flexi (short lease)**

Foundation

Piled foundations.

Structure

Reinforced concrete structural framework with reinforced concrete slabs.

Roof

Reinforced concrete roof slab with precast concrete secondary roofing.

Walls

All external and internal walls are constructed with reinforced concrete/ precast panels/ drywall partition system/ precast lightweight concrete partitions.

Living/ Dining : drywall partition system (optional)

Windows

Aluminium framed windows with tinted glass.

Doors

Entrance : laminated timber door and metal gate

Bedroom : laminated UPVC sliding partition/ door, where applicable

Bathroom/ WC : laminated UPVC folding door

Household Shelter : metal door

Living/ Dining : laminated UPVC sliding door (optional)

Finishes

Living/ Dining/ Bedroom Floor : vinyl strip flooring with laminated UPVC skirting

Kitchen/ Bathroom/ WC/ : glazed porcelain tiles

Household Shelter Floor

Kitchen/ Bathroom/ WC Walls : glazed porcelain tiles

Ceilings/ Other Walls : skim coated or plastered and painted

Fittings

Quality Locksets

Water Closet Suite

Clothes Drying Rack

Grab Bars

Wash basin with tap mixer, bath/ shower mixer with shower set

Built-in kitchen cabinets with induction hob and cooker hood, kitchen sink and dish drying rack (optional)

Built-in Wardrobe (optional)

Window Grilles (optional)

Water Heater (optional)

Lighting (optional)

Services

Gas services and concealed water supply pipes

Exposed sanitary stacks at Air-con ledge

Concealed electrical wiring to lighting and power points (including water heater and air-conditioning points)

Television points

Data points

Important Notes

- 1) The Household Shelter is designed for use as civil defence shelter. The walls, ceiling, floor and door of the Household Shelter shall not be hacked, drilled, altered or removed.
- 2) Laminated UPVC door frame shall be provided to all Bedroom and Bathroom/ WC door openings.
- 3) Any unused or unoccupied open spaces in front of or nearby/ adjacent to the flat units are not available for purchase and the HDB will not entertain any request from the flat owners to purchase and/ or enclose the unused or unoccupied open spaces.
- 4) The details of services in a flat, e.g. gas pipes, water pipes, sanitary stacks, electrical wiring, television points, data points, etc. are not indicated on the plans.

You are advised to visit HDB's website at www.hdb.gov.sg for information on renovation rules.

General Specifications For (Parc Residences @ Tengah)

For 2-room Flexi, 3-room, 4-room and 5-room

Foundation

Piled foundations.

Structure

Reinforced concrete structural framework with reinforced concrete slabs.

Roof

Reinforced concrete roof slab with precast concrete secondary roofing.

Walls

All external and internal walls are constructed with reinforced concrete/ precast panels/ drywall partition system/ precast lightweight concrete partitions.

Windows

Aluminium framed windows with tinted glass.

Doors

Entrance	: laminated timber door and metal gate
Bedroom	: laminated UPVC door
	: laminated UPVC sliding partition/ door for 2-room Flexi, where applicable
Bathroom/ WC	: laminated UPVC folding door
Household Shelter	: metal door
Service Yard	: aluminium framed door with glass

Finishes

Living/ Dining/	: vinyl strip flooring with laminated UPVC skirting
Bedroom Floors	
Kitchen/ Utility/ Dry Kitchen/ Bathroom/ WC/	: glazed porcelain tiles
Household Shelter Floors	
Service Yard Floor	: glazed porcelain tiles with tile skirting
Kitchen/ Utility/ Dry Kitchen/Bathroom/	: glazed porcelain tiles
WC Walls	
Ceilings/ Other Walls	: skim coated or plastered and painted

Fittings

Quality Locksets
Water Closet Suite
Clothes Drying Rack
Wash basin with tap mixer, bath/ shower mixer with shower set

Services

Gas services and concealed water supply pipes
Exposed sanitary stacks (which can be located at Service Yard and/ or Air-con ledge)
Concealed electrical wiring to lighting and power points (including water heater and air-conditioning points)
Television points
Data points

Important Notes

- 1) The Household Shelter is designed for use as civil defence shelter. The walls, ceiling, floor and door of the Household Shelter shall not be hacked, drilled, altered or removed.
- 2) Laminated UPVC door frame shall be provided to all Bedroom and Bathroom/ WC door openings.
- 3) Any unused or unoccupied open spaces in front of or nearby/ adjacent to the flat units are not available for purchase and the HDB will not entertain any request from the flat owners to purchase and/ or enclose the unused or unoccupied open spaces.
- 4) The details of services in a flat, e.g. gas pipes, water pipes, sanitary stacks, electrical wiring, television points, data points, etc. are not indicated on the plans.

You are advised to visit HDB's website at www.hdb.gov.sg for information on renovation rules.

Disclaimer

- 1) HDB owns the copyright in all information, maps, and plans of this brochure.
- 2) The content provided in this brochure is not intended to form part of any offer or contract for the sale of the flats. They are provided for your general information only, and are not statements or representations of fact.
- 3) Visual representations, such as pictures, art renderings, depictions, illustrations, photographs, drawings, as well as other graphic representations and references, are only artistic impressions. They are provided for your general information only, and are not representations of fact.
- 4) The information on this project, including but not limited to the dimensions, areas, plans, colour schemes, descriptions, and specifications, are subject to change or review without notice at our sole discretion or if required by the relevant authorities.
- 5) We may at any time, without any notice and at our sole discretion, change any aspect of this project, including but not limited to the omission, amalgamation, increase, or reduction of amenities and facilities, colour schemes, design features, and specifications.
- 6) We will not entertain any request for alteration of the layout or specifications of a flat to suit individual needs.
- 7) While reasonable care has been taken in providing the information in this brochure, we do not warrant its accuracy. We shall not be responsible in any way for any damage or loss suffered by any person whether directly or indirectly as a result of reliance on the said information or as a result of any error or omission therein.
- 8) The floor areas shown are scaled strata areas and subject to final survey.
- 9) The surrounding land use, proposed facilities and their locations as shown in the maps and plans are indicative only and subject to change. They may include ancillary uses allowed under the Urban Redevelopment Authority's prevailing Development Control guidelines.
- 10) We reserve the right to use or allow the use of:
 - the void deck in any Apartment block,
 - Car park;
 - Common property (such as precinct pavilion); or
 - Standalone community building,for:
 - Future amenities/ facilities (such as child care centres, elderly-related facilities, education centres, residents' committee centres, and day activity centres);
 - Commercial facilities (such as shops and eating houses);
 - Mechanical and electrical rooms; and
 - Such other facilities as we deem fit.
- 11) This brochure does not and is not intended to provide full and complete information of the guidelines or requirements of the relevant authorities. You are advised to approach the relevant authorities directly for full information and details of these guidelines and requirements.



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OPTIONAL COMPONENT SCHEME

(2-ROOM FLEXI FLATS – PARC RESIDENCES @ TENGAH)

The Optional Component Scheme (OCS) provides convenience for flat buyers, and is offered on an opt-in basis. Choose the OCS items you want before your flat selection appointment. The cost of the OCS items will be added to the selling price of the selected flat.

The 2-room Flexi flats come in 2 sizes: 38sqm and 46sqm, and are available either on a 99-year lease or short-lease.

All 2-room Flexi flats come with:

- floor finishes in the kitchen, household shelter and bathroom
- wall tiles in bathroom and kitchen
- sliding partition/ door for bedroom; folding bathroom door
- water closet suite in the bathroom



Grab bars will be installed for all short-lease flats to assist elderly buyers in moving around the flats

FOR ALL 2-ROOM FLEXI FLATS

PACKAGE 1

- Flooring in the living/ dining room and bedroom
- 3-panel sliding partition, separating the living room and bedroom (for 38sqm 2-room Flexi flat only)

Note:

Those who opted out of Package 1 will be provided with a 2-panel sliding partition and short wall separating living room and bedroom.



3-panel sliding partition



2-panel sliding partition

PACKAGE 2

- Sanitary fittings, i.e. washbasin with tap mixer and shower set with bath/ shower mixer



Disclaimer: All displays and images shown here are strictly for reference only and are subject to change without notice. The displays and images shown here are conceptual and indicative only and the colour schemes, design, dimensions, type, tonal differences and specifications may differ from the actual fittings installed in the flat.

August 2020

OPTIONAL COMPONENT SCHEME

(2-ROOM FLEXI FLATS – PARC RESIDENCES @ TENGAH)

FOR SHORT-LEASE 2-ROOM FLEXI FLATS ONLY

PACKAGE 3 offers elderly buyers the convenience of having a flat in move-in condition. It comprises:

ELDERLY-FRIENDLY FITTINGS



- Built-in kitchen cabinets with induction hob and cooker hood, kitchen sink, tap and dish drying rack.



Here are some features of an induction hob:

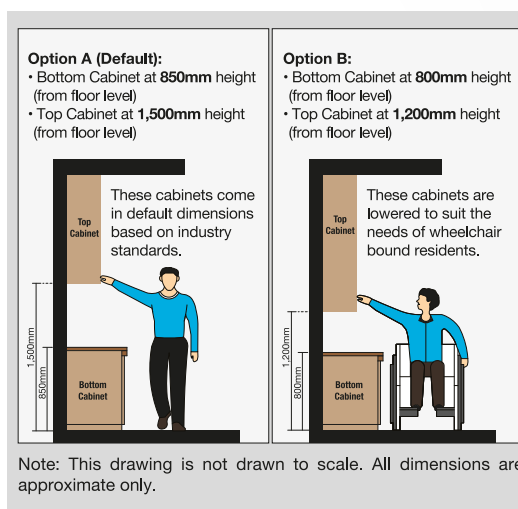
- It does not produce an open flame
- Its cooking zone cools down faster
- It is easier to clean than a gas hob
- As it has a flat surface, pots placed on an induction hob are less likely to topple over.

With these features, the use of the induction hob would promote a safer and cleaner environment.



- Kitchen cabinets come with mobile cabinets to provide knee space (especially for wheelchair users)
- Built-in bedroom wardrobe with a lower clothes hanging rod for easy reach

- An option to have a lower counter top height



- Sliding door at the flexible space next to bedroom



OTHER FITTINGS



- Window grilles for safety and security



- Mirror



- Toilet roll holder



- Lighting



- Water heater

Buyers who opt for Package 3 must select Package 1.

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August 2020